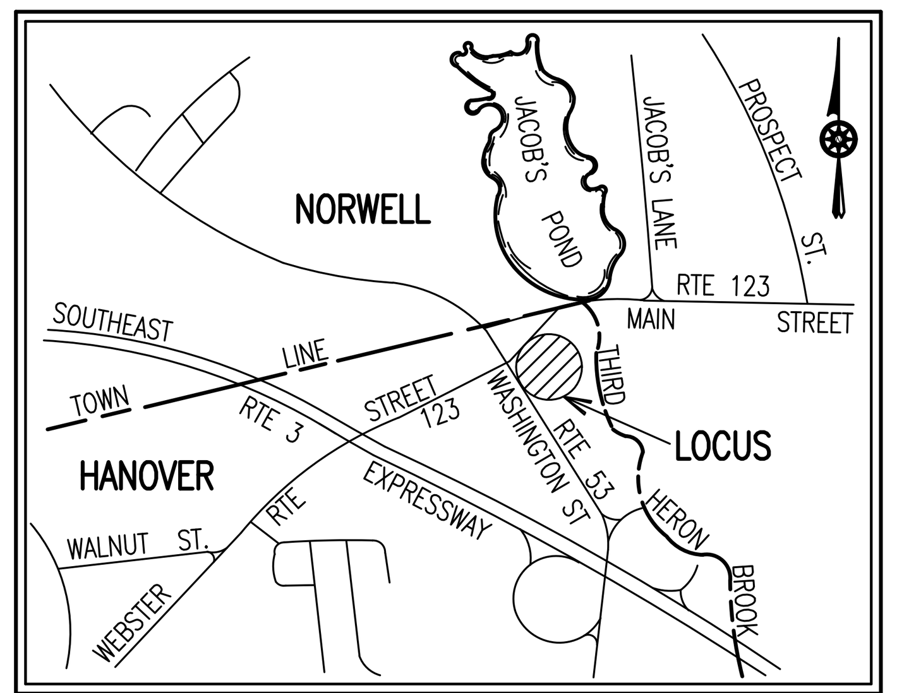
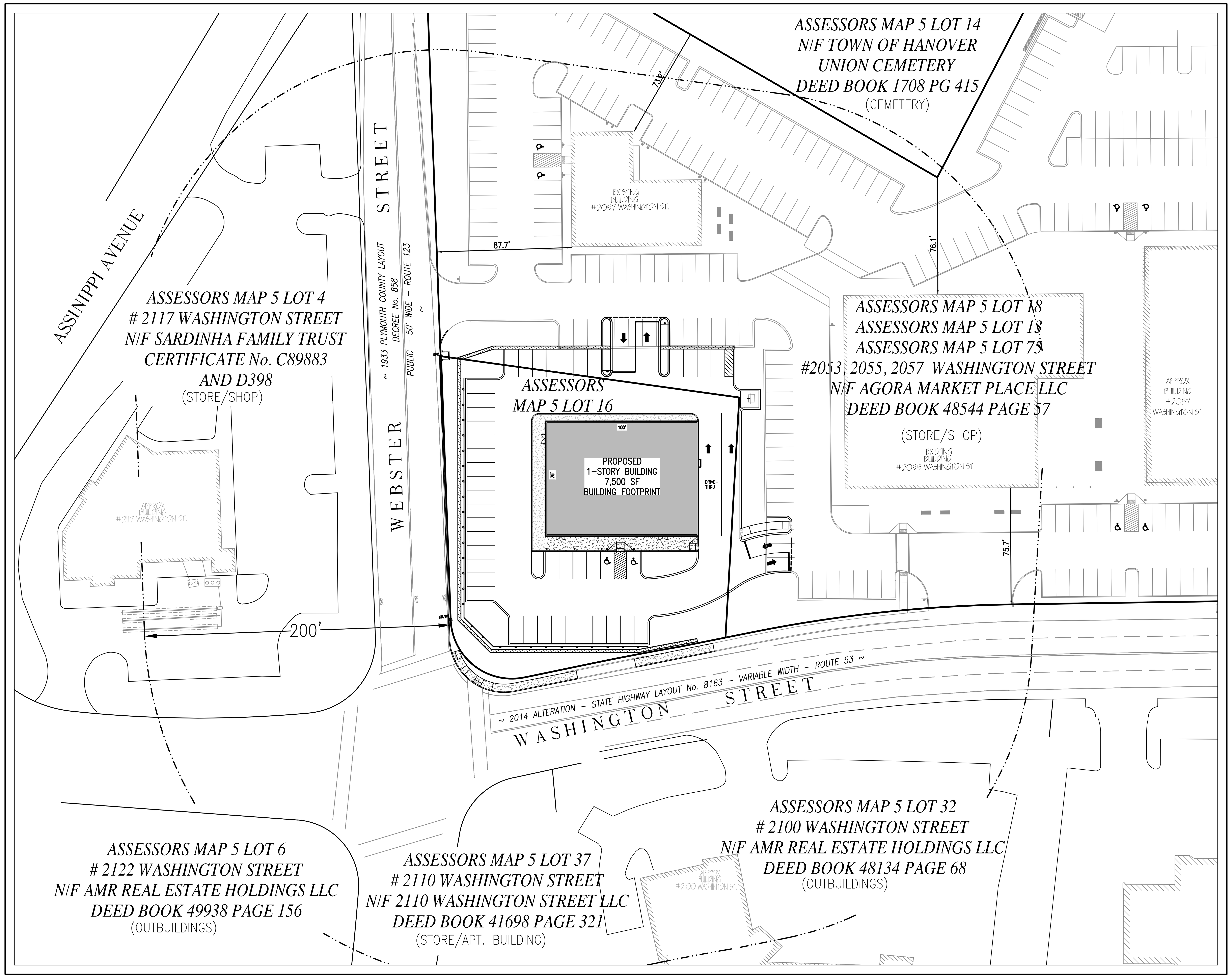
MERCHANT'S ROW
DEFINITIVE SITE PLAN
2053, 2055, 2057 & 2103 WASHINGTON STREET
(ASSESSORS MAP 5 - LOTS 13, 16, 18, 75)
HANOVER, MASSACHUSETTS
NOVEMBER 15, 2023



LOCATION MAP SCALE: 1" = 2083'



— VICINITY MAP —

40 0 40 80 120

SCALE IN FEET

1930 S.H.L.O. No. 2664

INDEX

OWNER/APPLICANT:
2103 WASHINGTON STREET LLC
552 ADAMS STREET
MILTON, MA 02186

AGORA MARKETPLACE, LLC
100 LEDGEWOOD PLACE, SUITE 301
ROCKLAND, MA 02370
P: 781-982-1144

CIVIL ENGINEER/SURVEYOR:
MERRILL ENGINEERS AND LAND SURVEYORS
427 COLUMBIA ROAD
HANOVER, MA 02339
P: 781-826-9200

ARCHITECT:
STUDIO TROIKA
15 CHANNEL CENTER STREET, SUITE 104
BOSTON, MA 02210
P: 857-991-1021

merrillinc.com

REVISIONS:
1. PLANNING COMMENTS 11/15/23

DRAWN BY: NC

DESIGNED BY: DWK

CHECKED BY: DWK

SCALE: 1" = 40'

STAMP:
COMMONWEALTH OF MASSACHUSETTS — DEBORAH W. KELLER — CIVIL — No. 45874 — REGISTERED PROFESSIONAL ENGINEER

COMMONWEALTH OF MASSACHUSETTS — BRADLEY K. LEMONT — NO. 56605 — PROFESSIONAL LAND SURVEYOR

Merrill
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448 N. Falmouth Highway
North Falmouth, MA 02556
508-563-2183

Marine Division:
26 Union Street
Plymouth, MA 02360
508-746-6060

PROJECT #: 22-188

PROJECT:
DEFINITIVE SITE PLAN
2053, 2055, 2057 & 2103 WASHINGTON STREET
HANOVER, MASSACHUSETTS

CLIENT:
2103 WASHINGTON ST LLC
552 ADAMS STREET
MILTON, MA 02186
(781) 982-1144

DRAWING PATH: H:\22-188\DESIGN\22-188 CV.DWG

DATE: OCTOBER 16, 2023
REVISED DATE: NOVEMBER 15, 2023

COVER AND INDEX

C1.1

LEGEND

EXISTING	DESCRIPTION	PROPOSED
50	1' CONTOUR	30
+50.5	SPOT ELEVATION	+30.5
	PROPERTY LINE	
EDGE OF PAVEMENT	EDGE OF PAVEMENT	EDGE OF PAVEMENT
VGC	VERTICAL GRANITE CURB	VGC
SGC	SLOPE GRANITE CURB	SGC
CCB	CAPE COD BERM	CCB
VBC	VERTICAL BITUMINOUS CURB	VBC
VCC	VERTICAL CONCRETE CURB	VCC
EDGE OF GRAVEL	EDGE OF GRAVEL	EDGE OF GRAVEL
BRICK WALKWAY	BRICK WALK	BRICK WALKWAY
RET WALL	RETAINING WALL	RET WALL
WATER LINE	WATER LINE	WATER LINE
GAS LINE	GAS LINE	GAS LINE
TEL & CABLE	TELEPHONE & CABLE	TEL & CABLE
ELEC TEL CABLE	ELECTRIC & TELEPHONE CABLE	ELEC TEL CABLE
ELECTRIC LINE	ELECTRIC SERVICE	ELECTRIC LINE
UNDERGROUND ELECTRIC LINE	UNDERGROUND ELECTRIC SERVICE	UNDERGROUND ELECTRIC LINE
OVERHEAD WIRE	OVERHEAD WIRE	OVERHEAD WIRE
OVERHEAD ELECTRIC	OVERHEAD ELECTRIC WIRE	OVERHEAD ELECTRIC
	COMMUNICATIONS LINE	
TELECOM	UNDERGROUND TELECOM	TELECOM
	ROOF DRAIN LINE	
SEWER LINE	SEWER LINE	SEWER LINE
12"RCP	DRAIN LINE	12"RCP
EXIST. STONEWALL	STONE WALL	PROP. STONEWALL
EXIST. FENCE	FENCE	PROP. FENCE
EXIST. GUARD RAIL	GUARDRAIL	PROP. GUARD RAIL
FEMA	100YR FEMA FLOOD PLAIN	
100' WETLAND BUFFER	100 FT WETLAND BUFFER	
50' WETLAND BUFFER	50 FT WETLAND BUFFER	
WFA5 UPLAND WETLAND WFA6	WETLAND LINE	
TBA5 TBA6	TOP OF BANK	
APPROX. 100 FT RIVERFRONT	100 FT RIVERFRONT AREA	
APPROX. 200 FT RIVERFRONT	200 FT RIVERFRONT AREA	
	EROSION CONTROL BARRIER	
CONCRETE PAD	CONCRETE PAD	CONCRETE PAD
CONC. RET. WALL	CONCRETE RETAINING WALL	CONC. RET. WALL
EDGE OF GRAVEL	EDGE OF GRAVEL	EDGE OF GRAVEL
DETECTABLE MAT	DETECTABLE MAT	DETECTABLE MAT
	BRICK WALKWAY	
STONE RET. WALL	STONE RETAINING WALL	STONE RET. WALL

	EXISTING	DESCRIPTION	PROPOSED
UTILITIES – WATER	HYD	HYDRANT	HYD
	WG	WATER GATE	WG
	SIAMESE STANDPIPE	SIAMESE STANDPIPE	SIAMESE STANDPIPE
UTILITIES – GAS	FIRE ALARM	FIRE ALARM	FIRE ALARM
	GG	GAS GATE	GG
	GM	GAS METER	GM
UTILITIES – ELECTRIC	EM	ELECTRICAL METER	EM
	AREA LIGHT	LIGHT	AREA LIGHT
	UP	UTILITY POLE	UP
UTILITIES – SEWER		SEPTIC TANK	
	SMH R=138.82	SEWER MANHOLE	SMH
	TH#1	TEST HOLE	TH#1
	MW	MONITORING WELL	MW
	MH	UNIDENTIFIED MANHOLE	MH
	TMH	TELEPHONE MANHOLE	TMH
	EMH	ELECTRICAL MANHOLE	EMH
UTILITIES – DRAINAGE	DMH R=138.19	DRAIN MANHOLE	DMH
	CB R=138.68	CATCH BASIN	CB
	RD	ROOF DRAIN	RD
	FES	FLARED END SECTION	FES
	AC AC	AIR CONDITIONER UNITS	AC AC
	FLAG POLE	FLAG POLE	FLAG POLE
LANDSCAPING	CONIFEROUS 18"PINE, DECIDUOUS 18"OAK, HEDGE	LANDSCAPING	CONIFEROUS 18"PINE, DECIDUOUS 18"OAK, HEDGE
TRAFFIC MARKINGS	12 SPACES	PARKING	12 SPACES
		TRAFFIC MARKINGS	
	DUMPSTER	DUMPSTER	DUMPSTER
	EXISTING BUILDING	BUILDING	PROPOSED BUILDING
		DOORWAY	
	SIGN	SIGN	SIGN
	BOLLARD	BOLLARD	BOLLARD
	MB73 U.S. MAIL	MAILBOX	MB73 U.S. MAIL
	SB	BORING	SB
		WELL	
	EHH	ELECTRICAL HAND HOLE	EHH
	TEL	TELEPHONE ACCESS BOX	TEL
	CTV	CABLE TV ACCESS BOX	CTV
	ICV	IRRIGATION CONTROL VALVE	ICV

SOIL LOGS

PERFORMED BY: PAUL LOUDERBACK
TEST DATE: APRIL 13, 2023

T.H.	DATE	EL.	LAYERS (ELEVATION AT BASE)	D	ESHGW
23-01	4/13/23	121.5±	0"–2" PAVEMENT (121.3); 2"–40" FILL (118.2); 40"–120" C HORIZON SANDY LOAM 2.5Y 6/3 (111.5)	D=120"	EL. 118.5
23-02	4/13/23	122.0±	0"–2" PAVEMENT (121.9); 2"–60" FILL (117.1)	D=60"	EL. 118.0
23-03	4/13/23	121.0±	0"–20" A HORIZON LOAMY SAND 10YR 4/2 (119.3); 20"–40" B HORIZON LOAMY SAND 10YR 5/6 (117.7); 40"–60" C1 HORIZON LOAMY SAND 2.5 Y 5/3 (116.0); 60"–120" C2 HORIZON FINE SAND 2.5 Y 5/2 (111.0)	D=120"	EL. 117.0
23-04	4/13/23	118.7±	0"–2" PAVEMENT (118.5); 2"–16" FILL (117.4); 16"–36" C1 HORIZON LOAMY SAND 10YR 6/2 (115.7); 36"–72" C2 HORIZON SANDY LOAM 2.5 Y 5/3 (112.7); 72"–84" C3 HORIZON SILTY LOAM 2.5 Y 5/3 (111.7)	D=84"	EL. 116.7
23-05	4/13/23	119.2±	0"–2" PAVEMENT (119.3); 2"–60" FILL (114.5)	D=60"	EL. 118.2

RECORD OWNER:

ASSESSORS MAP 5 LOT 16
2103 WASHINGTON STREET

2103 WASHINGTON STREET LLC
552 ADAMS STREET
MILTON, MA 02186

DEED BOOK 56941 PAGE 176
PLAN BOOK 2871 PAGE 242

ASSESSORS MAP 5, LOTS 13, 18, & 75
2053–2057 WASHINGTON STREET

AGORA MARKETPLACE, LLC
100 LEDGEWOOD PLACE, SUITE 301
ROCKLAND, MA 02370

FLOOD NOTE:

THIS PROPERTY IS LOCATED IN ZONE "X" OF THE FLOOD INSURANCE RATE MAP, AS SHOWN ON COMMUNITY MAP No. 25023C0111K, WHICH BEARS AN EFFECTIVE DATE OF JULY 6, 2021, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

ENVIRONMENTAL NOTES:

1. SITE IS NOT WITHIN AN A.C.E.C. (AREA OF CRITICAL ENVIRONMENTAL CONCERN).
2. SITE IS NOT WITHIN AN AREA OF ESTIMATED HABITAT OF RARE WILDLIFE PER NHESP MAP AUGUST 1, 2021 "ESTIMATED HABITATS OF RARE WILDLIFE" FOR USE WITH THE MA WETLANDS PROTECTION ACT REGULATIONS (310 CMR 10)."
3. SITE DOES NOT CONTAIN A CERTIFIED VERNAL POOL PER NHESP MAP AUGUST 1, 2021 "CERTIFIED VERNAL POOLS."
4. SITE IS NOT WITHIN A PRIORITY HABITAT PER NHESP MAP AUGUST 1, 2021 "PRIORITY HABITATS OF RARE SPECIES" FOR SPECIES UNDER THE MASSACHUSETTS ENDANGERED SPECIES ACT, REGULATIONS (321 CMR10).
5. SITE IS NOT WITHIN A STATE APPROVED ZONE II GROUND WATER RECHARGE PROTECTION AREA.

NOTES:

1. PLAN REFERENCES:
   1.1. PLAN ENTITLED "PLAN OF LAND ON WEBSTER STREET AND WASHINGTON STREET, HANOVER DATED JULY 7, 1961, SCALE 1"=40', DRAWN BY LORING H. JACOBS, REGISTERED LAND SURVEYOR, NORWELL, MASS., OWNER: EDITH BENT" RECORDED IN PLAN BOOK 2871, PAGE 242.
2. TOPOGRAPHIC AND DETAIL INFORMATION SHOWN HEREON IS BASED UPON AN ON THE GROUND SURVEY PERFORMED BY MERRILL ENGINEERS AND LAND SURVEYORS DURING JANUARY OF 2023.
3. PROPERTY LINE, STREET LINE AND OWNER INFORMATION WAS COMPILED FROM RECORDS ON FILE AT THE PLYMOUTH COUNTY REGISTRY OF DEEDS AND THE TOWN OF HANOVER ASSESSORS DEPARTMENT.
4. ALL ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
5. SUBJECT PROPERTY IS IN THE COMMERCIAL ZONING DISTRICT, THE ADULT USE ZONING OVERLAY DISTRICT, THE MEDICAL MARIJUANA ZONING OVERLAY DISTRICT AND THE WIRELESS TELECOMMUNICATIONS ZONING OVERLAY DISTRICT AS DEPICTED ON THE TOWN OF HANOVER ZONING MAP.
6. UTILITY INFORMATION FROM ABOVE GROUND OBSERVED EVIDENCE IN CONJUNCTION WITH DIG SAFE MARKINGS AND RECORD PLANS. THE LAND SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE LAND SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION AND CONSTRUCTION AS THE LAND SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. BEFORE CONSTRUCTION CALL DIG SAFE SYSTEMS, INC. AT 1–888–344–7233.
7. EXISTING SEPTIC SYSTEM COMPONENTS SHOWN HEREON TAKEN FROM RECORD AS–BUILT PLAN ON FILE WITH THE TOWN OF HANOVER BOARD OF HEALTH. ADDITIONAL SEPTIC SYSTEMS MAY EXIST ON THE EASTERLY AND WESTERLY SIDES OF THE BUILDING BASED ON EVIDENCE OBSERVED DURING THE SURVEY.

GENERAL CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL STANDARDS AND REGULATIONS.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL SECURE ALL NECESSARY STATE, MUNICIPAL AND UTILITY PERMITS AND VERIFY THE PROPOSED LOCATION OF UTILITIES WITH UTILITY COMPANIES.
3. CONTRACTOR TO NOTIFY "DIG–SAFE" AND THE TOWN OF HANOVER DEPARTMENT OF PUBLIC WORKS WATER DIVISION (781–826–3189) 4 DAYS PRIOR TO CONSTRUCTION.
4. WHERE PROPOSED PAVEMENT AND WALKS ARE TO MEET EXISTING, THE CONTRACTOR SHALL SAWCUT TO A NEAT LINE AND MATCH GRADE.
5. ALL EXISTING TREES, SHRUBS AND GROUND COVER WITHIN 15' OF PROPERTY LINES AND WHERE NATURAL GRADE IS TO BE RETAINED SHALL BE KEPT IN THEIR EXISTING STATE UNLESS REMOVAL IS REQUIRED FOR CONSTRUCTION PURPOSES.
6. ALL AREAS DISTURBED BY CONSTRUCTION AND NOT TO BE PAVED OR OTHERWISE TREATED AS NOTED ON PLAN SHALL BE TREATED WITH 4" OF LOAM, SEEDED AND HAY MULCHED FOR EROSION CONTROL, EXCEPT 6" OF LOAM SHALL BE USED WITHIN 10' OF EDGE OF ROADWAY.
7. ALL SUBSURFACE STRUCTURES TO CONFORM TO MASSACHUSETTS HIGHWAY DEPARTMENT CONSTRUCTION STANDARDS AND SHALL BE SUITABLE FOR H–20 LOADING.
8. THE CONTRACTORS ATTENTION IS DIRECTED TO ALL REQUIREMENTS OF THE HANOVER PLANNING BOARD.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
10. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES FOR URBAN AND SUBURBAN AREAS DATED MARCH 1997, THE ORDER OF CONDITIONS AND ALL MUNICIPAL REGULATIONS.
11. EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE COMMENCEMENT OF ANY SITE WORK OR EARTHWORK OPERATIONS, SHALL BE MAINTAINED DURING CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL ALL SITE WORK IS COMPLETE AND GROUND COVER IS ESTABLISHED.
12. TEST PITS AND/OR BORINGS WERE TAKEN FOR THE PURPOSE OF DESIGN AND SHOW CONDITIONS AT BORING POINTS ONLY. THEY DO NOT NECESSARILY SHOW THE NATURE OF ALL MATERIALS TO BE ENCOUNTERED DURING CONSTRUCTION.
13. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR UTILITY CONNECTION FEES REQUIRED TO CARRY OUT THE WORK OUTLINED BUT NOT LIMITED TO DEMOLITION.
14. DISPOSAL OF ALL DEMOLISHED MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR AND MUST BE OFF–SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL MUNICIPAL REQUIREMENTS.
15. THE CONTRACTOR SHALL PROTECT AND/OR CAP OFF ALL EXISTING ON–SITE UTILITY SERVICES DESIGNATED ON THESE DRAWINGS. SERVICES SHALL BE CAPPED OFF WHERE THEY ENTER THE PERIMETER OF THE PROPERTY LINE.
16. THE LIMIT OF WORK LINE FOR THE AREA TO BE CLEARED AND GRUBBED SHALL BE THE SAME AS THE LIMIT OF WORK LINE NECESSARY FOR GRADING PURPOSES, (I.E., THE GRADING LIMITS AROUND THE PERIMETER OF THE PROJECT AREA).
17. THE AREA OR AREAS OF ENTRANCE AND EXIT TO AND FROM THE SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT–OF–WAY. ALL SEDIMENT, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT–OF–WAY MUST BE REMOVED IMMEDIATELY.
18. THE CONTRACTOR SHALL BE AWARE THAT SOIL AND GRADES AT THIS SITE MAKE IT PARTICULARLY SUSCEPTIBLE TO SOIL EROSION AND SENSITIVE TO ITS CONSEQUENCES. IT SHOULD BE NOTED THAT THE EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS DEPICT THE MINIMUM REQUIRED CONTROL AND ARE REPRESENTATIVE OF A SINGLE STAGE OF CONSTRUCTION FOR EACH PHASE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITING, RELOCATION AND AUGMENTATION OF EROSION CONTROL DEVICES AS THE PROJECT PROGRESSES AND SITE DRAINAGE CONDITIONS CHANGE.
19. THE CONTRACTOR SHALL ANTICIPATE AND MODIFY EROSION CONTROL MEASURES BASED ON PAST AND CURRENT WEATHER CONDITION, SEASON AND EXPECTED FUTURE CONSTRUCTION ACTIVITIES.
20. THE SILT SOCK EROSION CONTROL BARRIERS SHOWN ON THE DRAWINGS SHALL ACT AS THE LIMITS OF DISTURBANCE AND THE LIMITS OF CLEARING; NO WORK SHALL OCCUR OUTSIDE THESE LIMITS.
21. THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED SOIL. EFFORTS SHALL BE MADE TO LIMIT THE TIME OF EXPOSURE OF DISTURBED AREAS.
22. THE CONTRACTOR SHALL NOTIFY THE TOWN'S PLANNER AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY SITE WORK.
23. PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES AT THE SITE, THE CONTRACTOR SHALL ENGAGE AN INDIVIDUAL WITH SPECIFIC PROFESSIONAL TRAINING AND EXPERTISE IN EROSION AND SEDIMENT CONTROL. THE EROSION CONTROL MONITOR SHALL PREPARE A WEEKLY REPORT WHICH SHALL BE KEPT ON SITE AT ALL TIMES AND SHALL BE SHOWN TO LOCAL, STATE AND FEDERAL AGENTS UPON REQUEST. THIS REPORT SHALL INDICATE THE STATUS OF THE EROSION CONTROLS AND ANY MAINTENANCE REQUIRED AND PERFORMED. THIS REPORT SHALL CONFORM TO THE REQUIREMENTS OF THE EPA'S NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT.

merrillinc.com

REVISIONS:
1. PLANNING COMMENTS 11/15/23

DRAWN BY: NC
DESIGNED BY: DWK
CHECKED BY: DWK
SCALE: NOT TO SCALE
STAMP: COMMONWEALTH OF MASSACHUSETTS — DEBORAH W. KELLER — CIVIL — No. 45874 — REGISTERED PROFESSIONAL ENGINEER

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Plymouth, MA 02360
508–746–6060

PROJECT #: 22–188

PROJECT: DEFINITIVE SITE PLAN
2053, 2055, 2057 & 2103 WASHINGTON STREET
HANOVER, MASSACHUSETTS

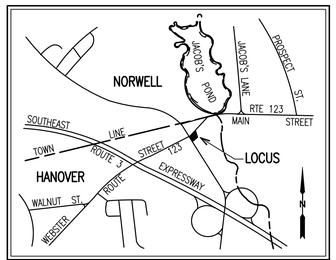
CLIENT:
2103 WASHINGTON ST LLC
552 ADAMS STREET
MILTON, MA 02186
(781) 982–1144

DRAWING PATH: H:\22–188\DESIGN\22–188 GN.DWG

DATE: OCTOBER 16, 2023
REVISED DATE: NOVEMBER 15, 2023

GENERAL NOTES / LEGEND

C2.1



LOCATION MAP SCALE: 1" = 2000'±

TEST HOLE NOTE:

* REFER TO GENERAL NOTES/ INDEX SHEET FOR TEST HOLE INFORMATION & RESULTS

merrillinc.com

REVISIONS:

1. PLANNING COMMENTS 11/15/23

DRAWN BY: NC

DESIGNED BY: DWK

CHECKED BY: DWK

SCALE: 1" = 20'

STAMP:

COMMONWEALTH OF MASSACHUSETTS
BRADLEY K. LEMONT
NO. 56605
PROFESSIONAL LAND SURVEYOR

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PROJECT:

DEFINITIVE SITE PLAN

2053, 2055, 2057 & 2103 WASHINGTON STREET
HANOVER, MASSACHUSETTS

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DRAWING PATH: H:\22-188\DESIGN\22-188 EX. DEMO.DWG

DATE: OCTOBER 16, 2023
REVISED DATE: NOVEMBER 15, 2023

EXISTING CONDITIONS PLAN

C3.1

DEMOLITION NOTES:

1. ALL MANMADE FEATURES TO BE DEMOLISHED AND REMOVED WITHIN THE SITE IN THEIR ENTIRETY UNLESS OTHERWISE NOTED. EXISTING FEATURES TO INCLUDE BUT NOT LIMITED TO UNDERGROUND DRAINAGE STRUCTURES, ABANDONED SEPTIC SYSTEMS COMPONENTS, FENCING, ALL DISCARDED RUBBISH AND/OR TRASH AROUND THE PROPERTY, CURBING, PLANTERS, ASPHALT, SIGNAGE, BOLLARDS, CONCRETE SLABS, AND LIGHTING. ALL DEBRIS TO BE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.

2. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION ACTIVITIES WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDER TAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY, GRADE THE SURFACE TO MEET ADJACENT CONTOURS.

3. ALL GAS CUT AND CAP WORK TO BE PERFORMED BY THE GAS COMPANY. ALL EXCAVATION, REMOVAL AND BACKFILLING OF GAS SERVICE LINES ON SITE SHALL BE PERFORMED BY THE CONTRACTOR.

4. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.

5. ALL WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL LOCAL MUNICIPAL STANDARDS. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH STREETS, WALKS AND OTHER ADJACENT FACILITIES.

6. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. ALL REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS TO CONTACT "DIG-SAFE" 72 HOURS PRIOR TO ANY EXCAVATION AT 1-888-344-7233.

7. ALL DOMESTIC WATER AND FIRE PROTECTION SERVICES MUST BE CUT AND CAPPED AT THE PROPERTY LINE. GATE VALVE, FRAME AND COVER AND ALL APPURTENANCES MUST BE REMOVED IN ACCORDANCE WITH THE TOWN WATER DEPARTMENT SPECIFICATIONS AND STANDARD DETAILS.

EROSION AND SEDIMENTATION CONTROL NOTES:

1. THE CONTRACTOR SHALL COORDINATE A PRE CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY WITH THE DEVELOPER, TOWN PLANNER, AND ANY INTERESTED TOWN DEPARTMENT REPRESENTATIVES.

2. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO EARTHWORK OPERATION AND MAINTAIN ALL EROSION MEASURES DURING CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY UPON THE ESTABLISHMENT OF ALL LANDSCAPED AREAS AND FINAL PAVEMENT IS INSTALLED.

3. IF EXISTING DRAINAGE STRUCTURES ARE TO BE USED DURING CONSTRUCTION, SILT SACKS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF WORK.

4. STEEP SLOPES, WHERE POSSIBLE, WILL NOT BE DISTURBED.

5. NATURAL WATERWAYS WILL BE PRESERVED AND PROTECTED, AND EXISTING VEGETATION WILL BE RETAINED AND PROTECTED TO THE EXTENT PRACTICABLE.

6. THE CONTRACTOR SHALL MINIMIZE THE AREAS OF DISTURBED LAND TO THE THE EXTENT FEASIBLE.

7. SEDIMENT CONTROL MEASURES WILL BE APPLIED TO CONTROL ANY SEDIMENTS THAT MAY BE PRODUCED AS A RESULT OF SITE CONSTRUCTION ACTIVITIES. EROSION AND DEPOSITION OF SEDIMENT WILL BE CLOSELY MONITORED DURING CONSTRUCTION.

8. TEMPORARY EROSION CONTROL MEASURES WILL INCLUDE HAY BALE CHECK DAMS, FILTER FABRIC, SILT FENCES, MULCH SOCKS, SEEDING AND MULCHING, AND SEEDED FILTER TRAPS.

9. TOPSOIL STRIPPED FROM CUT AND FILL AREAS WILL BE STOCKPILED FOR LOAMING AND SEEDING AT LATER CONSTRUCTION STAGES. THE STOCKPILES SHALL BE LOCATED SO AS TO ACT AS TEMPORARY DIVERSIONS, GENERALLY ON THE UPHILL SLOPE.

10. STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETER WITH SILT SOCK AND/OR SILTATION FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION. THE LOCATION OF THE STOCKPILE AREAS MAY BE MODIFIED AS APPROVED BY THE ENGINEER.

11. TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER SO THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.

12. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER. WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR HAVE TEMPORARILY BEEN SUSPENDED FOR MORE THAN SEVEN DAYS, OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, STABILIZATION PRACTICES SHALL BE IMPLEMENTED WITHIN THREE DAYS. AREAS THAT REMAIN DISTURBED BUT INACTIVE FOR AT LEAST THIRTY DAYS SHALL RECEIVE TEMPORARY SEEDING IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES.

13. EARTHWORK ACTIVITY ON THE SITE SHALL BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO THE LINE OF SILT SOCK EROSION CONTROL.

14. DURING UTILITY CONSTRUCTION, ALL WATER PUMPED FROM THE EXCAVATED TRENCH SHALL BE DIRECTED TO A "DIRT BAG" PUMPED SEDIMENT REMOVAL SYSTEM (OR APPROVED EQUAL) AS MANUFACTURED BY ACF ENVIRONMENTAL.

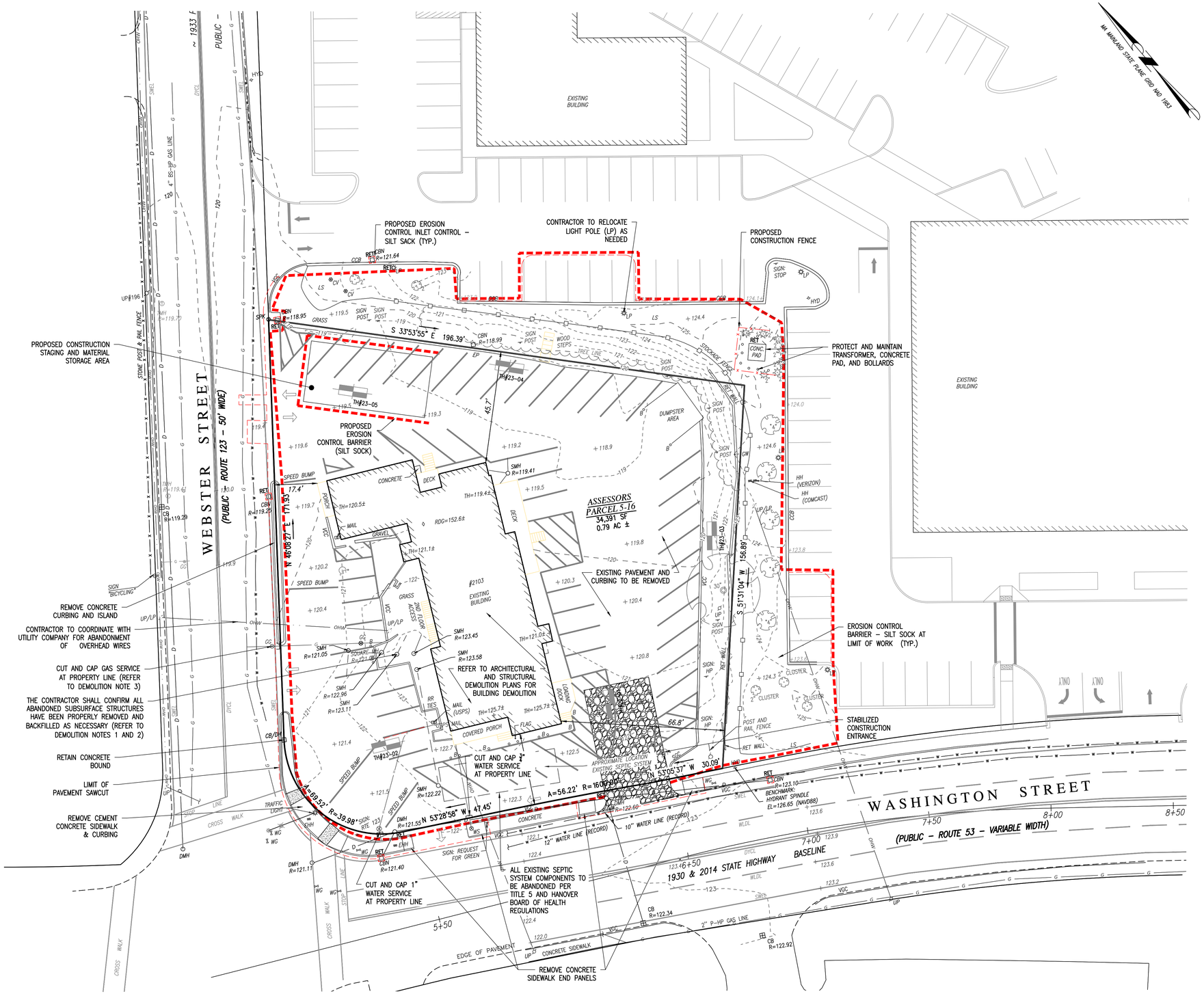
15. CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED BY HAYBALE FILTERS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED.

16. SILT SACKS SHALL BE UTILIZED AT ALL EXISTING AND PROPOSED TREE BOX FILTERS SUBJECT TO STORMWATER RUNOFF FROM PROPOSED FILL AREAS DURING CONSTRUCTION, OR AS DIRECTED BY THE OWNER/ENGINEER. NO SEDIMENT SHALL ENTER THE ON-SITE DRAINAGE SYSTEMS AT ANY TIME.

17. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED, REPAIRED, AND REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTION SHALL TAKE PLACE AFTER EACH RAINFALL EVENT.

18. ALL PROPOSED SLOPES (EXCLUDING THE RIPRAP SLOPE) STEEPER THAN 3:1 SHALL BE STABILIZED WITH A CURLEX EROSION CONTROL MATTING BY AMERICAN EXCELSIOR COMPANY (OR APPROVED EQUAL) AND PROTECTED FROM EROSION.

18. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL SILT SOCK AND EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER, THE CONSERVATION COMMISSION OR THE PLANNING BOARD TO MITIGATE ANY EMERGENCY CONDITION.



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REVISIONS:

1. PLANNING COMMENTS 11/15/23

DRAWN BY: NC

DESIGNED BY: DWK

CHECKED BY: DWK

SCALE: 1" = 20'

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PROJECT #: 22-188

PROJECT:
DEFINITIVE SITE PLAN
2053, 2055, 2057 & 2103 WASHINGTON STREET
HANOVER, MASSACHUSETTS

CLIENT:
2103 WASHINGTON ST LLC
552 ADAMS STREET
MILTON, MA 02186
(781) 982-1144

DRAWING PATH: H:\22-188\DESIGN\22-188 EX. DEMO.DWG

DATE: OCTOBER 16, 2023
REVISED DATE: NOVEMBER 15, 2023

EROSION CONTROL AND DEMOLITION PLAN

C4.1

ZONING DATA:

DISTRICT: COMMERCIAL DISTRICT WITH ADULT USE, MEDICAL MARIJUANA & WIRELESS TELECOMMUNICATIONS OVERLAYS					
USE: BANK ATM & RETAIL		ASSESSORS MAP 5 LOT 16		MERGE OF MAP 5 LOTS 13, 16, 18, 75	
CRITERIA	REQUIRED	EXISTING	PROPOSED	EX. MERCHANTS ROW	PROPOSED LOT MERGE
LOT AREA (TOTAL) BUILDABLE UPLAND WETLAND	44,000 SF (MIN.)	34,391± SF 34,391± SF ------	NO CHANGE	438,303± SF 302,787± SF 135,516± SF	472,694± SF 337,178± SF 135,516± SF
LOT FRONTAGE[5] WASHINGTON ST WEBSTER ST	200 FT (MIN.)	------ 181.01 FT 219.26 FT	------ NO CHANGE NO CHANGE	------ 616.62 FT 311.05 FT	------ 797.71 FT 523.4 FT
FRONT SETBACK WASHINGTON ST WEBSTER ST	75 FT (MIN.)[1]	29.4 FT 17.4 FT	68.4 FT 63.6 FT	75.1 FT 87.7 FT	68.4 FT 63.6 FT
REAR SETBACK	25 FT (MIN.)	N/A	N/A	244.8 FT	244.8 FT
SIDE SETBACK	15 FT (MIN.)	45.7 FT	18.9 FT	33.0 FT	33.0 FT
BUILDING HEIGHT[3]	35 FT (MAX.)	33.2 FT	1 STORY, < 35 FT	< 35 FT	NO CHANGE
BUILDING COVERAGE[1,2,4]	12%–15%	15.1%	21.1%	20.5%	20.4%
LOT COVERAGE[4]	60% (MAX.)	89.9%	79.9%	73.9%	75.0%

ZONING NOTES:

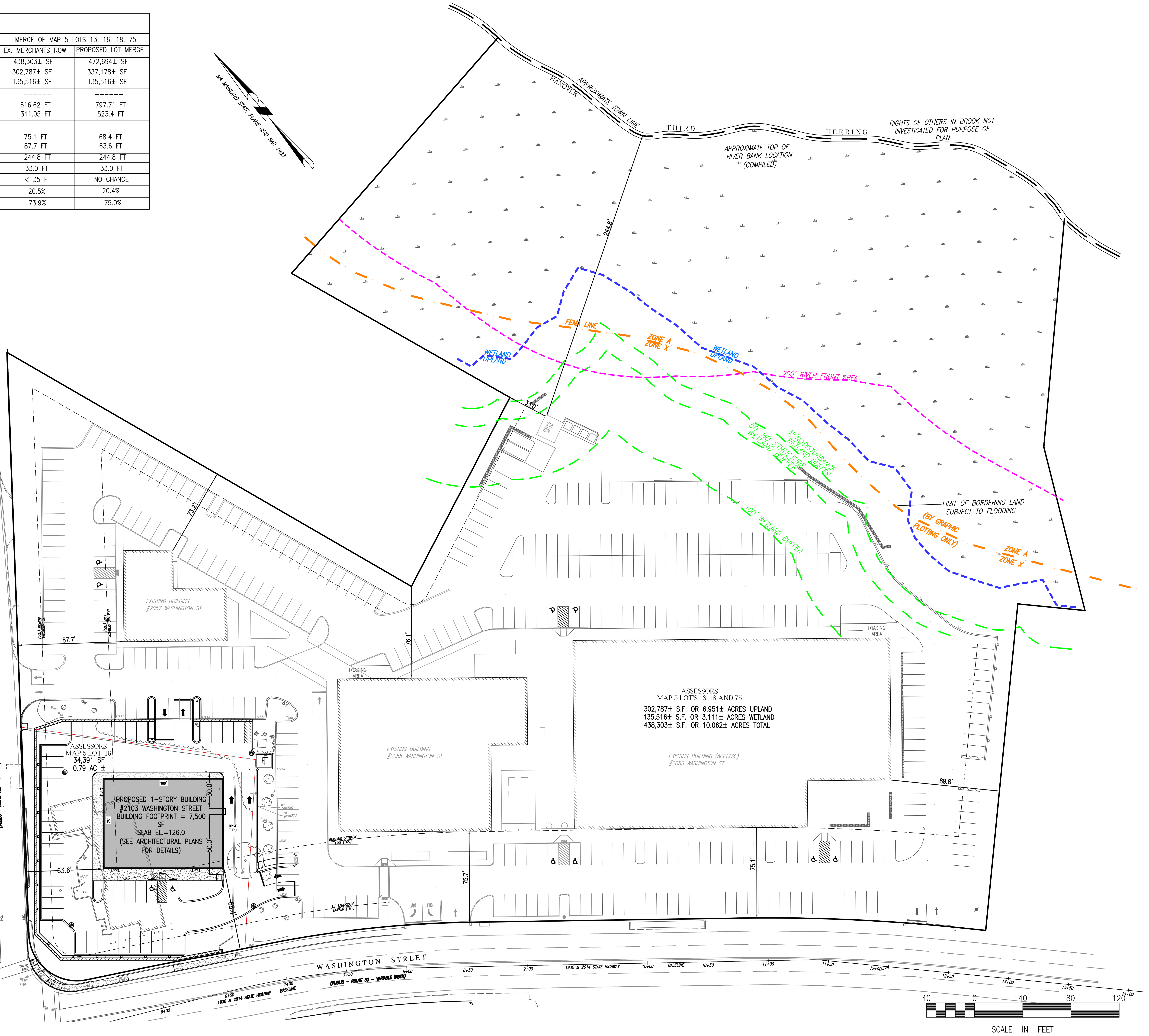
1. WHEN THE USE IS FOR A BANK, RESTAURANT, SERVICE STATION OR ANY OPERATION WHICH GENERATES SIMILAR HIGH TRAFFIC COUNTS, MAXIMUM BUILDING COVERAGE SHALL NOT EXCEED TWELVE PERCENT (12%) OF THE LOT AREA. (SECTION 7.540.A)
2. WHEN THE USE IS FOR GENERAL RETAILING OF GOODS WITHIN A STRUCTURE, THE MAXIMUM BUILDING COVERAGE SHALL NOT EXCEED FIFTEEN PERCENT (15%) OF THE LOT AREA. (SECTION 7.540.B)
3. THE HEIGHT OF ANY BUILDING OR STRUCTURE SHALL NOT EXCEED THIRTY–FIVE (35) FEET AT ANY FACE MEASURED FROM THE AVERAGE GRADE FOR EACH SUCH FACE, AND SHALL NOT EXCEED THREE (3) STORIES ABOVE THE AVERAGE GRADE AT THE FOUNDATION LINES. (SECTION 7.110)
4. IN ALL ZONING DISTRICTS, ANY PORTION OF A LOT WHICH IS LOCATED IN A WETLANDS RESOURCE AREA OR IN A WELL PROTECTION ZONE SHALL NOT BE USED TO MEET ANY OF THE DIMENSIONAL REGULATIONS OF SECTION 7 EXCEPT IN ACCORDANCE WITH SECTION8.110 OF THIS BYLAW AND EXCEPT THAT TEN PERCENT (10%) OF THAT AREA OF THE LOT WHICH IS LOCATED WITHIN THE 200 FOOT RIVERFRONT AREA MAY BE UTILIZED TO MEET THE LOT AREA REQUIREMENTS OF SAID SECTION 7. (SECTION 7.220)
5. IF A LOT HAS FRONTAGE ON TWO (2) WAYS, BOTH FRONTAGES SHALL MEET THE REQUIREMENTS OF MINIMUM LOT FRONTAGE AND MINIMUM FRONT SETBACKS APPROPRIATE FOR THE ZONING DISTRICT IN WHICH THE LOT LIES. IN SUCH A CASE, THOSE LOT LINES CONSIDERED NOT TO BE FRONT LOT LINES SHALL BE DEEMED TO BE SIDE LOT LINES. A LOT SHALL BE CONSIDERED TO HAVE FRONTAGE ON TWO (2) WAYS IF THE FRONTAGE OF THE LOT INCLUDES ANY POINT ALONG THE ROUNDED CORNER BETWEEN THE TWO (2) INTERSECTING WAYS. IN SUCH A CASE, FRONTAGE SHALL BE MEASURED FROM THE POINT OF INTERSECTION OF THE EXTENDED WAYLINES AND ALONG EACH WAYLINE TO THE POINT WHERE A SIDE LOT LINE INTERSECTS THAT WAYLINE.

VARIANCE REQUESTS:

1. LOT COVERAGE – SECTIONS 4.340
   REQUEST: INCREASE FROM 73.9% TO 75.0%, (ALLOWS FOR ADEQUATE PARKING SPACES AND DRIVEWAY DIMENSIONS).

SPECIAL PERMIT REQUESTS:

1. LOT SETBACKS (FRONT YARD) – SECTION 4.220.A.3.a
   REQUEST: 63.6 FT, (CONFORMS MORE THAN EXISTING)
   BUILDING COVERAGE – SECTION 4.220.A.3.a
   REQUEST: 20.4%, (CONFORMS MORE THAN EXISTING)
2. PARKING SPACE SIZE – SECTION 9.110.E
   REQUEST: 9' X 18' PARKING SPACES, (PROVIDES ADEQUATE PARKING SPACES)
3. DRIVE THRU INGRESS & EGRESS – SECTION 9.030
   REQUEST: 30 FT ON EGRESS,
4. LANDSCAPE BUFFERS – SECTION 8.130
   REQUEST: LANDSCAPE BUFFERS ON THE FRONT YARD WILL NOT MEET THE MINIMUM REQUIRED BUFFER OF 20' IN MANY AREAS OF THE SITE. (CONFORMS MORE THAN EXISTING).
5. FRONT YARD PARKING – SECTION 9.060
   REQUEST: 36 SPACES IN FRONT YARDS
   (PROVIDES ADEQUATE PARKING FOR SITE AND SIMILAR TO ABUTTING PROPERTY).
6. SITE GRADING – (SECTION 7.660)
   REQUEST: THE PROPOSED SITE WILL REQUIRE GRADING OF 1 FOOT FOR MORE THAN 500 SF OF LAND.



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SCALE IN FEET

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REVISIONS:
1. PLANNING COMMENTS 11/15/23

DRAWN BY: NC

DESIGNED BY: DWK

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SCALE: 1" = 40'

STAMP: COMMONWEALTH OF MASSACHUSETTS DEBORAH W. KELLER CIVIL No. 45874 REGISTERED PROFESSIONAL ENGINEER

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ZONING PLAN

C5.1

PARKING NOTES:

PROPOSED 7,500 GFA BANK ATM AND RETAIL USE
REQUIRED PARKING: 1 SPACE PER 200 SF
(BANKS, RETAIL SALES AND/OR SERVICE AND OTHER HIGH TRAFFIC BUSINESS USE)
REQUIRED PARKING: 38, WITH 2 ACCESSIBLE SPACES
PROPOSED PARKING: 43, WITH 2 ACCESSIBLE SPACES

REQUIRED: 10'X20'
PROPOSED 9'X18'

BUILDING:

PROPOSED 7,500 GFA BANK AND RETAIL USE

DRIVE – THRU NOTES:

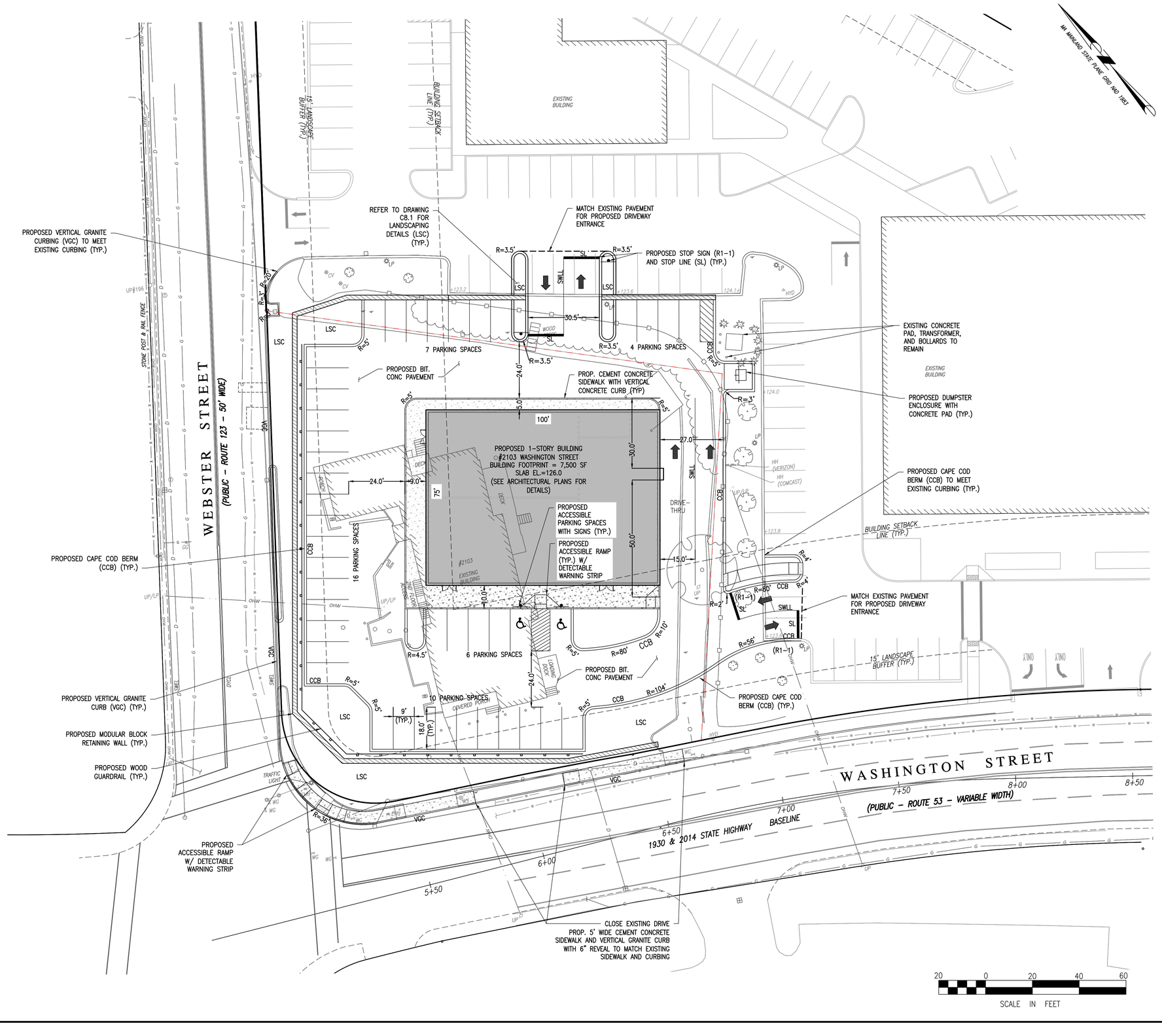
REQUIRED: MIN. DRIVE WIDTH 15'
DRIVE SHALL EXTEND MIN. OF 50' ON BOTH APPROACH & EGRESS FROM WINDOW

ALLOW MIN. OF 5 VEHICLES PER DRIVE TO AWAIT SERVICE WITHOUT IMPACTING TRAFFIC FLOW

PROPOSED: MIN. DRIVE WIDTH 15'
DRIVE EXTENDS 50' ON APPROACH, 30' ON EGRESS FROM WINDOW

TRAFFIC MARKINGS:

STOP LINE (SL) – 12" WHITE LINE
PARKING LINE – 4" WHITE LINE
SOLID WHITE LANE LINE (SWLL) – 4" WHITE LINE



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SITE LAYOUT PLAN

C5.2

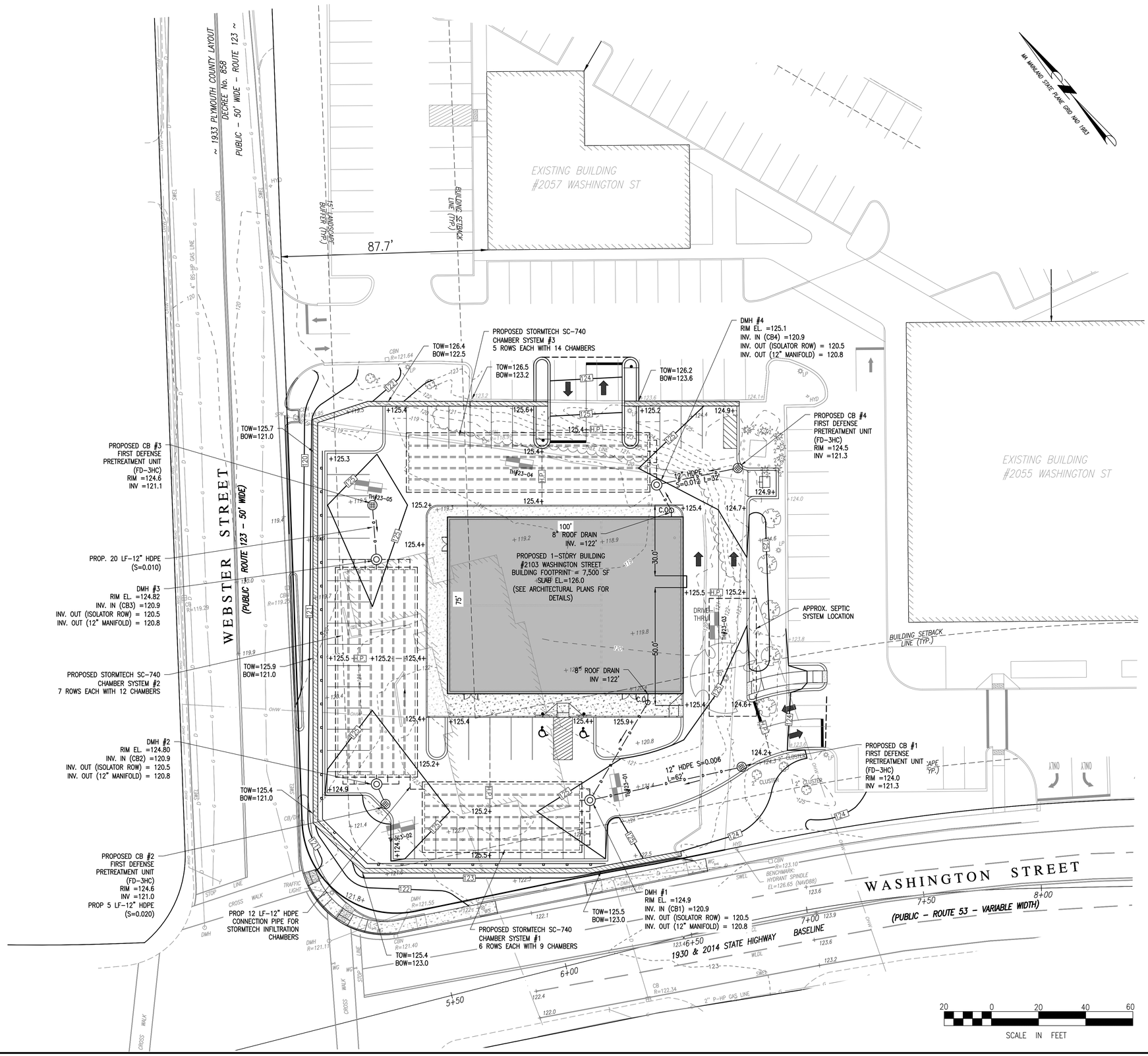
GRADING AND DRAINAGE NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
2. ALL ON-SITE STORM DRAINAGE PIPES SHALL BE HDPE ADS (N-12) CORRUGATED POLYETHYLENE (SMOOTH INTERIOR) PIPE, UNLESS NOTED OTHERWISE.
3. REINFORCED CONCRETE MANHOLES & CATCHBASINS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM SPECIFICATION C478 AND AASHTO DESIGNATION M199. ALL CONCRETE STRUCTURES SHALL MEET THE LATEST MASS HIGHWAY DEPARTMENT SPECIFICATIONS AND HANOVER SUBDIVISION STANDARDS.
4. CORRUGATED POLYETHYLENE PIPE AND STRUCTURES SHALL CONFORM WITH AASHTO DESIGNATIONS M294 AND M252, SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE ADS N-12 PIPE AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEM, INC. OR HANCOR HI Q PIPE AS MANUFACTURED BY HANCOR, INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED OR DETAILED.
5. BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY AASHTO T-1800 METHOD. SHEETING, IF USED, SHALL BE REMOVED PRIOR TO BACKFILLING TRENCH. UNSUITABLE SOIL BELOW THE INVERT SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND SHALL NOT BE USED AS BACKFILL.
7. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES.
8. ALL SERVICE CONNECTIONS (I.E. ROOF AND CANOPY DRAINS) SHALL BE DIRECTED TOWARDS THE ON SITE DRAINAGE FACILITIES. COORDINATE WITH THE ARCHITECTURAL PLANS FOR CONNECTIONS. THE ROOF DRAINS FROM THE BUILDING SHALL CONNECT TO INFILTRATION CHAMBERS 1 AND 3.

DRAINAGE INFILTRATION SYSTEM NOTES:

DURING CONSTRUCTION OF THE DRAINAGE INFILTRATION SYSTEMS, THE FOLLOWING MEASURES SHALL BE TAKEN:

1. ALL STOCKPILES SHALL BE STORED DOWN GRADIENT OF THE EXCAVATION TO ENSURE ANY POTENTIAL SEDIMENT DOES NOT REACH THE INFILTRATION AREA.
2. ALL EQUIPMENT FOR EXCAVATION AND PLACEMENT OF STONE AND STRUCTURES SHALL BE KEPT OUTSIDE THE AREA OF THE SYSTEM.
3. ALL WATER RESULTING FROM DEWATERING ACTIVITIES SHALL BE DIRECTED AWAY FROM THE INFILTRATION AREAS.
4. NO STORMWATER SHALL BE DISCHARGED INTO THESE FACILITIES UNTIL THE CONTRIBUTING AREAS ARE FULLY STABILIZED WITH PAVEMENT, VEGETATION OR OTHER PERMANENT TREATMENT.



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DATE: OCTOBER 16, 2023

GRADING AND DRAINAGE PLAN

C6.1

UTILITY NOTES:

1. BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY AASHTO T–1800 METHOD. SHEETING, IF USED, SHALL BE REMOVED PRIOR TO BACKFILLING TRENCH.

2. UNSUITABLE SOIL BELOW THE INVERT SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND SHALL NOT BE USED AS BACKFILL.

3. ALL ROOF RUNOFF WILL BE DIRECTED TO RELATIVE INFILTRATION CHAMBERS.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.

5. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.

6. FINAL SIZE, LOCATION AND MATERIAL OF GAS, DOMESTIC WATER, AND FIRE SERVICE TO BE DESIGNED BY THE MEP ENGINEER FOR THE BUILDING PRIOR TO CONSTRUCTION. THE PROPOSED GAS SERVICE LOCATION AND CAPACITY SHALL BE VERIFIED WITH THE GAS COMPANY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT GAS LINE INSTALLATION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION AND BACKFILL AND COMPACTION FOR THE GAS LINE.

7. THE CONTRACTOR SHALL EXCAVATE THE TEST PITS IN THE LOCATION SHOWN ON THE PLAN PRIOR TO COMMENCING WORK TO VERIFY THE ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH THE RESULTS PRIOR TO COMMENCING WORK.

8. THE CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC, CABLE, AND TELEPHONE COMPANIES TO VERIFY LOCATION, SIZE, AND TYPE OF SAID UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL GIVE SAID UTILITY COMPANIES ADVANCE NOTICE OF WHEN UTILITY LINES WILL BE INSTALLED.

9. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER AND A MAXIMUM OF 6 FEET OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.

10. GENERALLY, WATER MAIN FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS ARE NOTED, SHOWN OR INDICATED.

11. ALL WATER MAIN FITTINGS, TEES, HYDRANTS, ETC. SHALL BE RESTRAINED WITH CONCRETE THRUST BLOCKS.

12. DOMESTIC WATER SERVICES 2.5" AND SMALLER SHALL BE TYPE K COPPER TUBING AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED CORPORATION STOP WITH APPROVED SADDLE CURB STOP, AND BOX. DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX AND TEE FITTINGS.

13. ALL WATER MAINS 3" AND LARGER SHALL BE CEMENT LINED DUCTILE IRON – CLASS 52 AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED FITTINGS AND GATE VALVES. ALL GATE VALVES SHALL BE MUELLER, OPEN LEFT.

14. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.

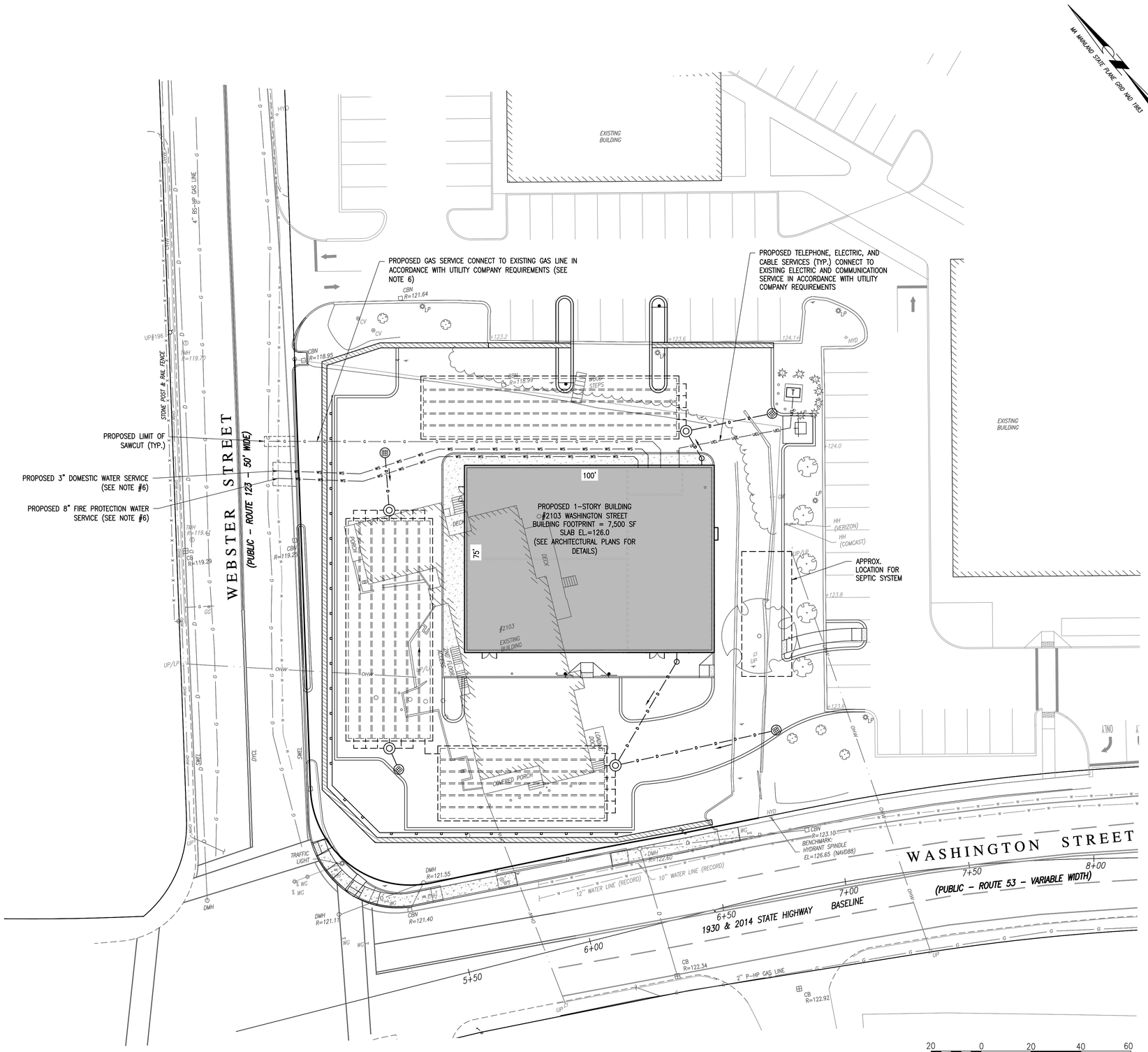
15. PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL MUNICIPAL STANDARDS AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.

16. PRIMARY WATER METER AND BACKFLOW PREVENTER SHALL BE LOCATED AT THE POINT WHERE THE WATER LINE ENTERS EACH BUILDING UNLESS OTHERWISE NOTED OR DETAILED IN THE DRAWINGS.

17. REFER TO THE WASTEWATER TREATMENT SYSTEM DESIGN PLANS FOR ALL GRAVITY SEWER CONNECTIONS. A„; GRAVITY SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PIPE (PVC) SDR 35 AND SHALL CONFORM WITH ASTM–D3034 UNLESS NOTED OTHERWISE.

18. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AS SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST EIGHTEEN INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IF MECHANICAL JOINT PIPE IS NOT USED THEN BOTH WATER MAIN AND SANITARY SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.

19. DUE TO THE SMALL SCALE OF THE SITE WORK DRAWINGS, EXACT LOCATION OF UTILITY STUBS FOR BUILDING CONNECTIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL DRAWINGS. SERVICE STUBS TO THE BUILDING SHALL BE INSTALLED TO A POINT 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.



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REVISIONS:

1. PLANNING COMMENTS 11/15/23

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UTILITY PLAN

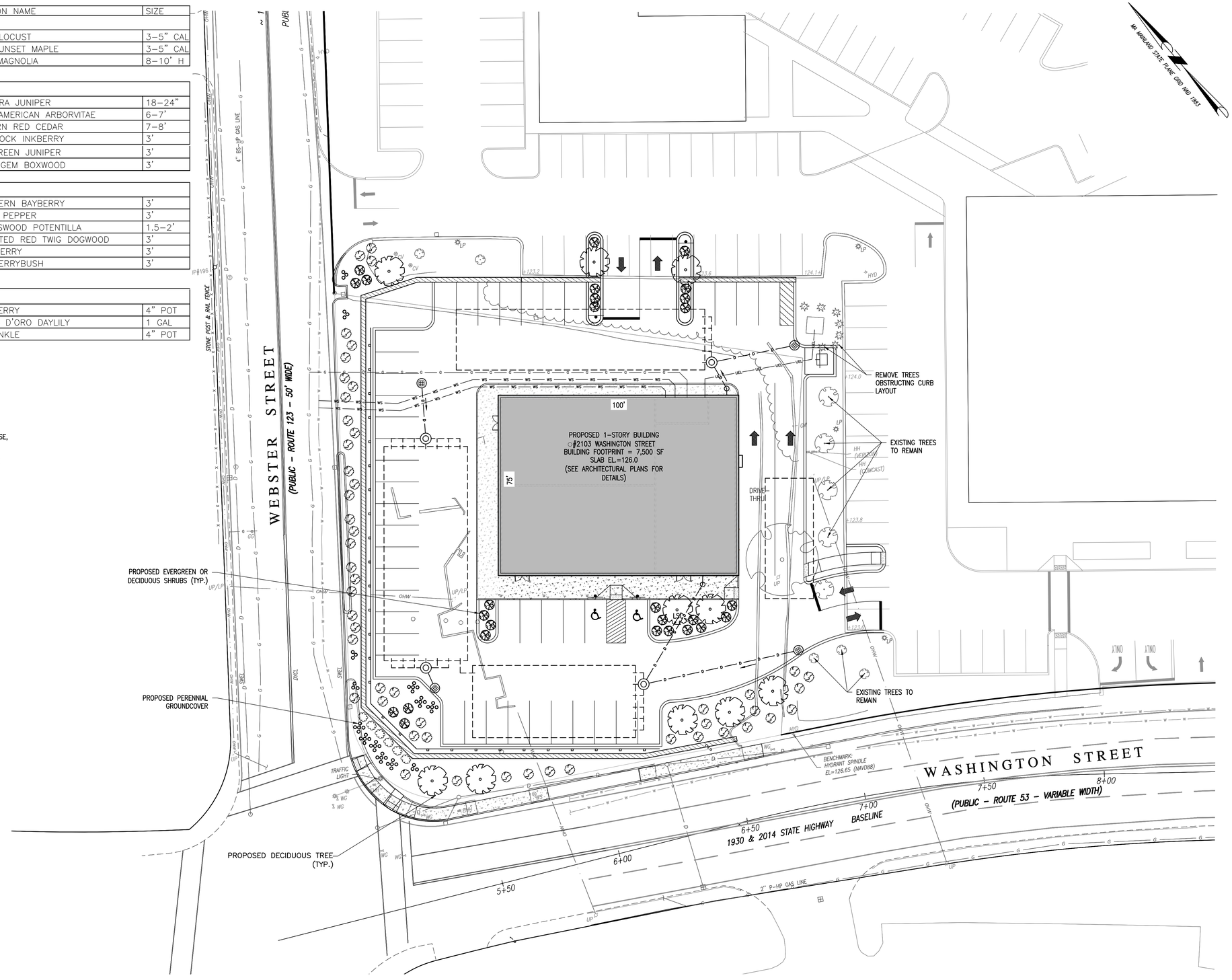
C7.1

LANDSCAPE SCHEDULE:

KEY	BOTANICAL NAME	COMMON NAME	SIZE
DECIDUOUS TREES:			
HL	GLEDITSIA TRIACANTHOS	HONEYLOCUST	3–5" CAL
RM	ACER RUBRUM	RED SUNSET MAPLE	3–5" CAL
SMAG	MAGNOLIA STELLATA	STAR MAGNOLIA	8–10' H
EVERGREEN SHRUBS:			
AJ	JUNIPERUS HORIZONTALIS	ANDORRA JUNIPER	18–24"
DAV	THUJA OCCIDENTALIS	DARK AMERICAN ARBORVITAE	6–7'
ERC	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	7–8'
IG	ILEX GLABRA	SHAMROCK INKBERRY	3'
SGJ	JUNIPERUS CHINENSIS	SEA GREEN JUNIPER	3'
WBX	BUXUS	WINTERGEM BOXWOOD	3'
DECIDUOUS SHRUBS:			
BAY	MYRICA PENSYLVANICUM	NORTHERN BAYBERRY	3'
CL	CLETHRA ALNIFOLIA	SWEET PEPPER	3'
POT	POTENTILLA	ABBOTSWOOD POTENTILLA	1.5–2'
RTD	CORNUS ALBA	VARIGATED RED TWIG DOGWOOD	3'
SYM	SYMPHORICARPOS ALBA	SNOWBERRY	3'
VIT	VIBURNUM TRILOBUM	CRANBERRYBUSH	3'
PERENIAL/GROUNDCOVERS:			
BE	ARCTOSTAPHYLOS UVA	BEARBERRY	4" POT
SDY	MEEROCALLIS	STELLA D'ORO DAYLILY	1 GAL
V	VINCA MINOR	PERIWINKLE	4" POT

LANDSCAPE NOTES:

1. ALL PLANT MATERIALS SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
2. ALL PLANTS SHALL BE NATIVE TO NEW ENGLAND AND HEALTHY, VIGOROUS, FREE OF DISEASE, INSECTS AND PESTS.
3. PLANT VARIETIES ARE SUBJECT TO CHANGE DUE TO AVAILABILITY. COORDINATION WITH THE LANDSCAPE ARCHITECT FOR ALL PLANT VARIETY SUBSTITUTIONS.
4. FINAL LANDSCAPE LAYOUT TO BE PREPARED BY A REGISTERED LANDSCAPE ARCHITECT.



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REVISIONS:

1. PLANNING COMMENTS	11/15/23

DRAWN BY: NC

DESIGNED BY: DWK

CHECKED BY: DWK

SCALE: 1" = 20'

STAMP:

COMMONWEALTH OF MASSACHUSETTS
DEBORAH W. KELLER
CIVIL
No. 45974
REGISTERED PROFESSIONAL ENGINEER

Merrill
Engineers and Land Surveyors
427 Columbia Road
Hanover, MA 02339
781-826-9200
40 Court Street, Suite 2A
Plymouth, MA 02360
508-746-6060
448 N. Falmouth Highway
North Falmouth, MA 02556
508-563-2183
Marine Division:
26 Union Street
Plymouth, MA 02360
508-746-6060

PROJECT #: 22-188

PROJECT:
DEFINITIVE SITE PLAN
2053, 2055, 2057 & 2103 WASHINGTON STREET
HANOVER, MASSACHUSETTS

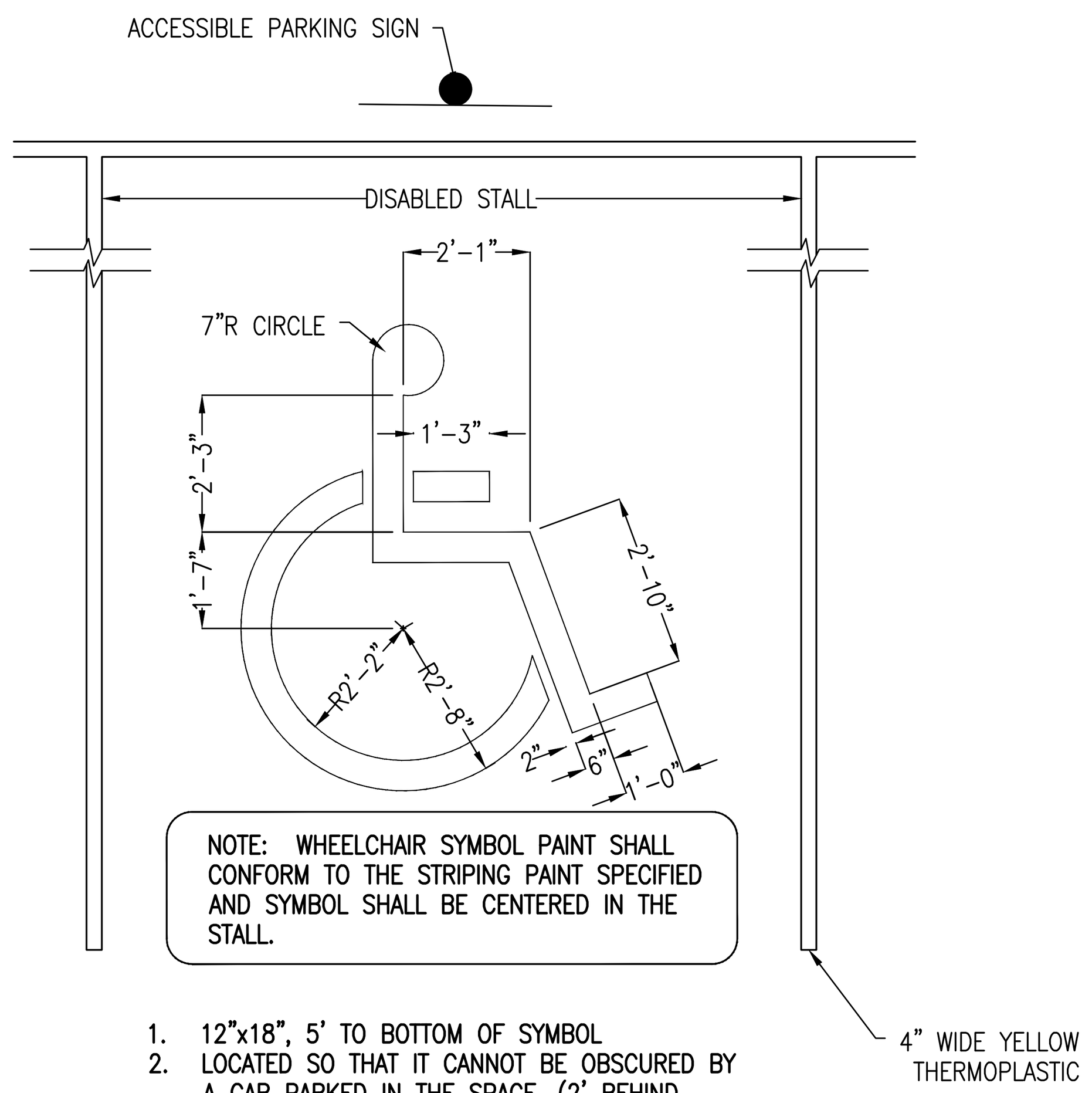
CLIENT:
2103 WASHINGTON ST LLC
552 ADAMS STREET
MILTON, MA 02186
(781) 982-1144

DRAWING PATH: M:\22-188\DESIGN\22-188 LO, UT, LSC, ZONING.DWG

DATE: OCTOBER 16, 2023
REVISED DATE: NOVEMBER 15, 2023

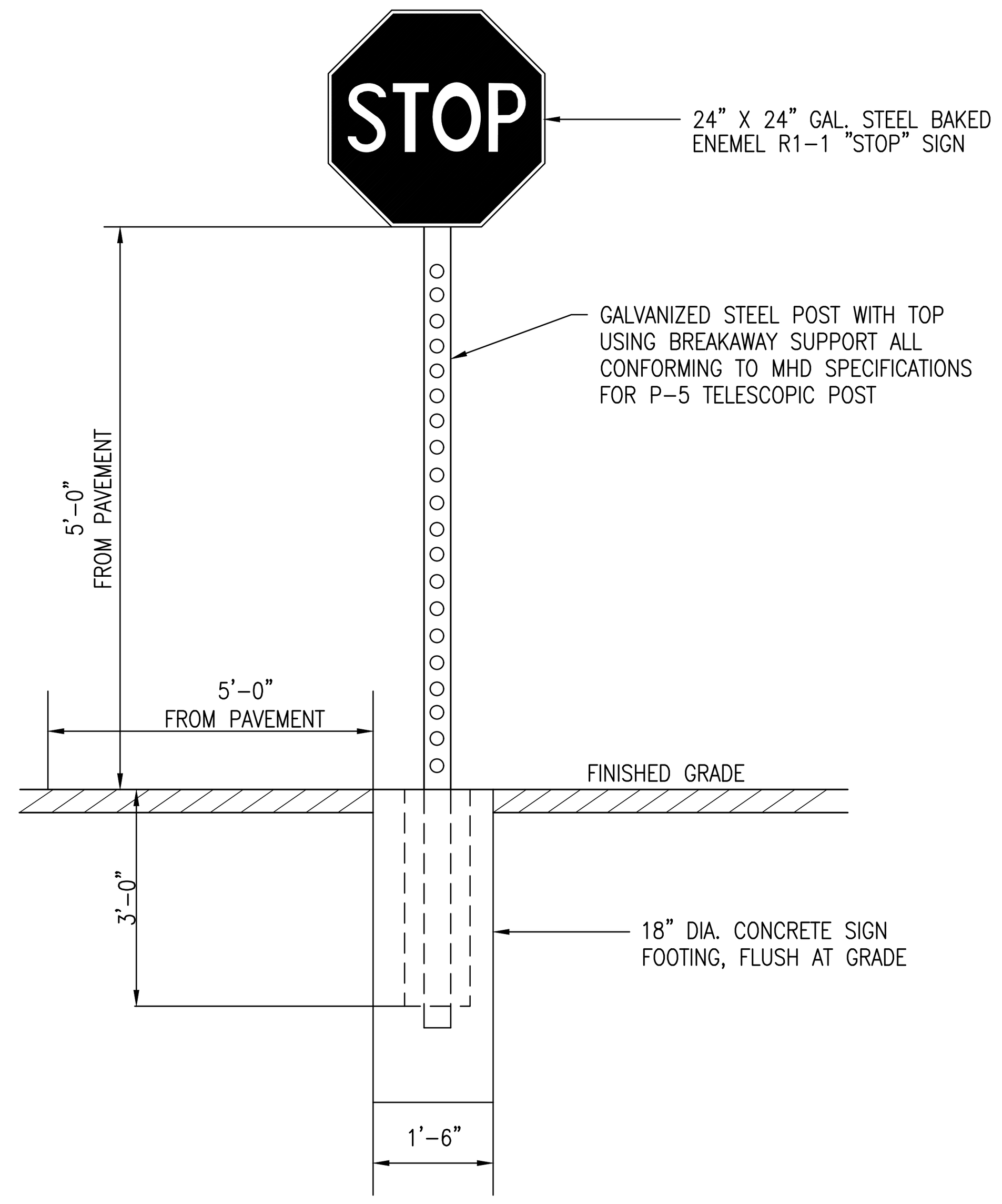
LANDSCAPING PLAN

C8.1

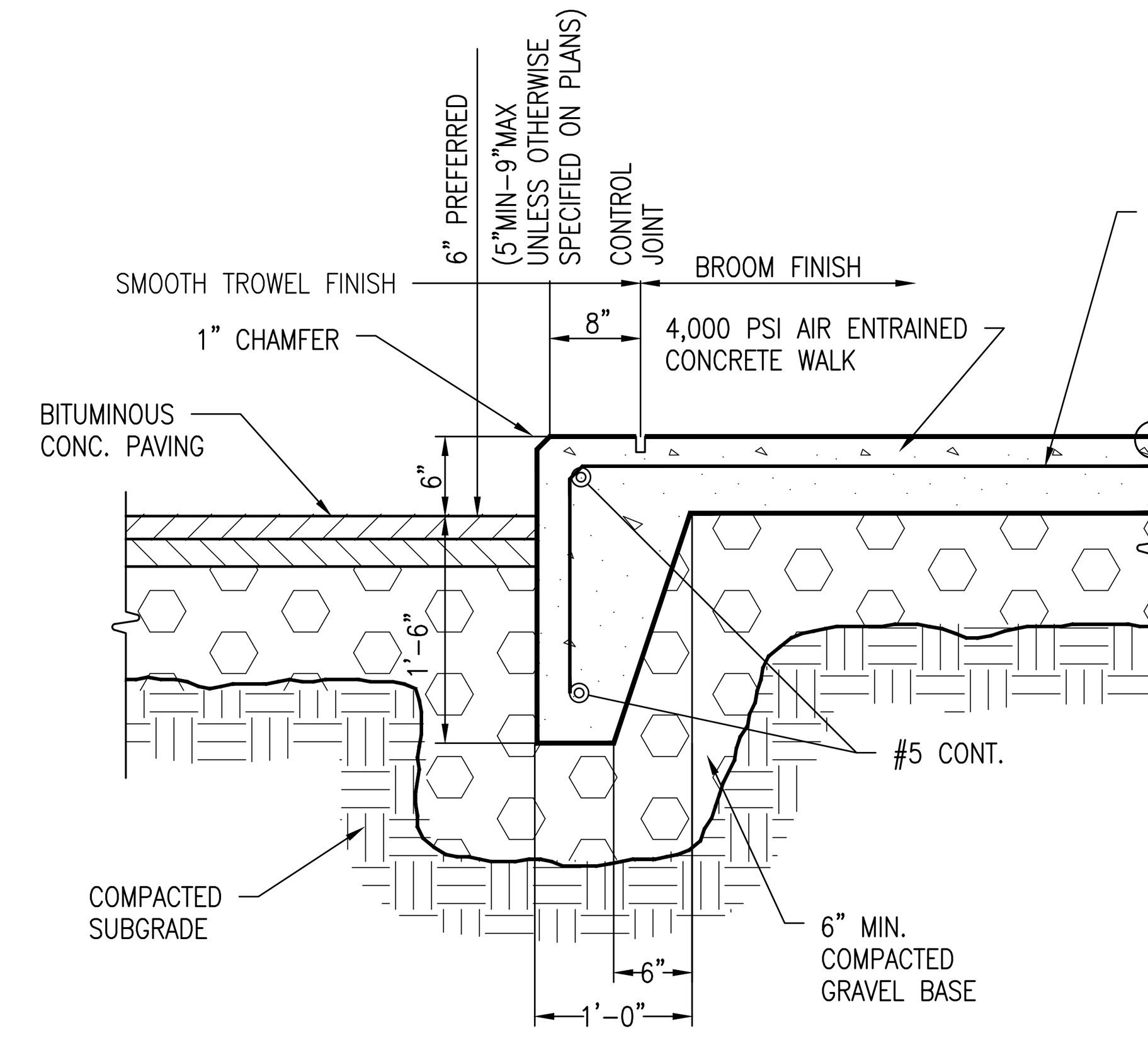


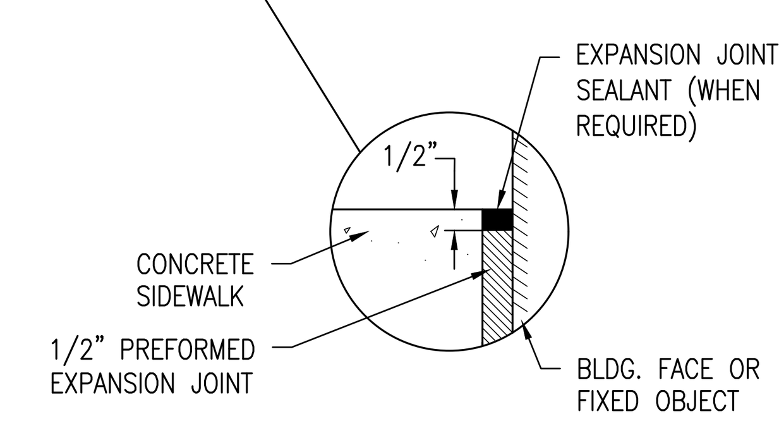
1. 12"x18", 5' TO BOTTOM OF SYMBOL
2. LOCATED SO THAT IT CANNOT BE OBSCURED BY A CAR PARKED IN THE SPACE. (2' BEHIND CURB OR 2' BEHIND WALK, AS APPLICABLE)
3. CONFORM TO LOCAL CODES.

ACCESSIBLE PARKING SPACE PAINTING DETAIL
(NOT TO SCALE)



STOP SIGN DETAIL
(NOT TO SCALE)

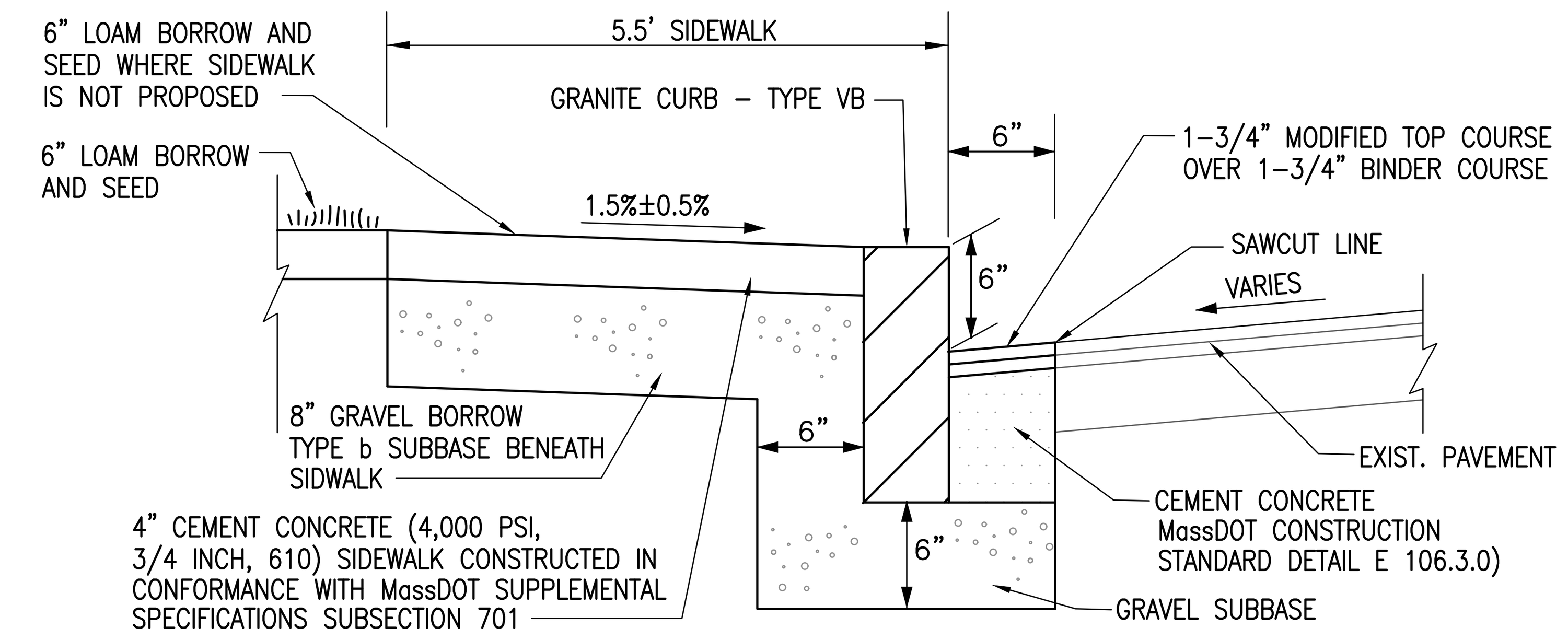




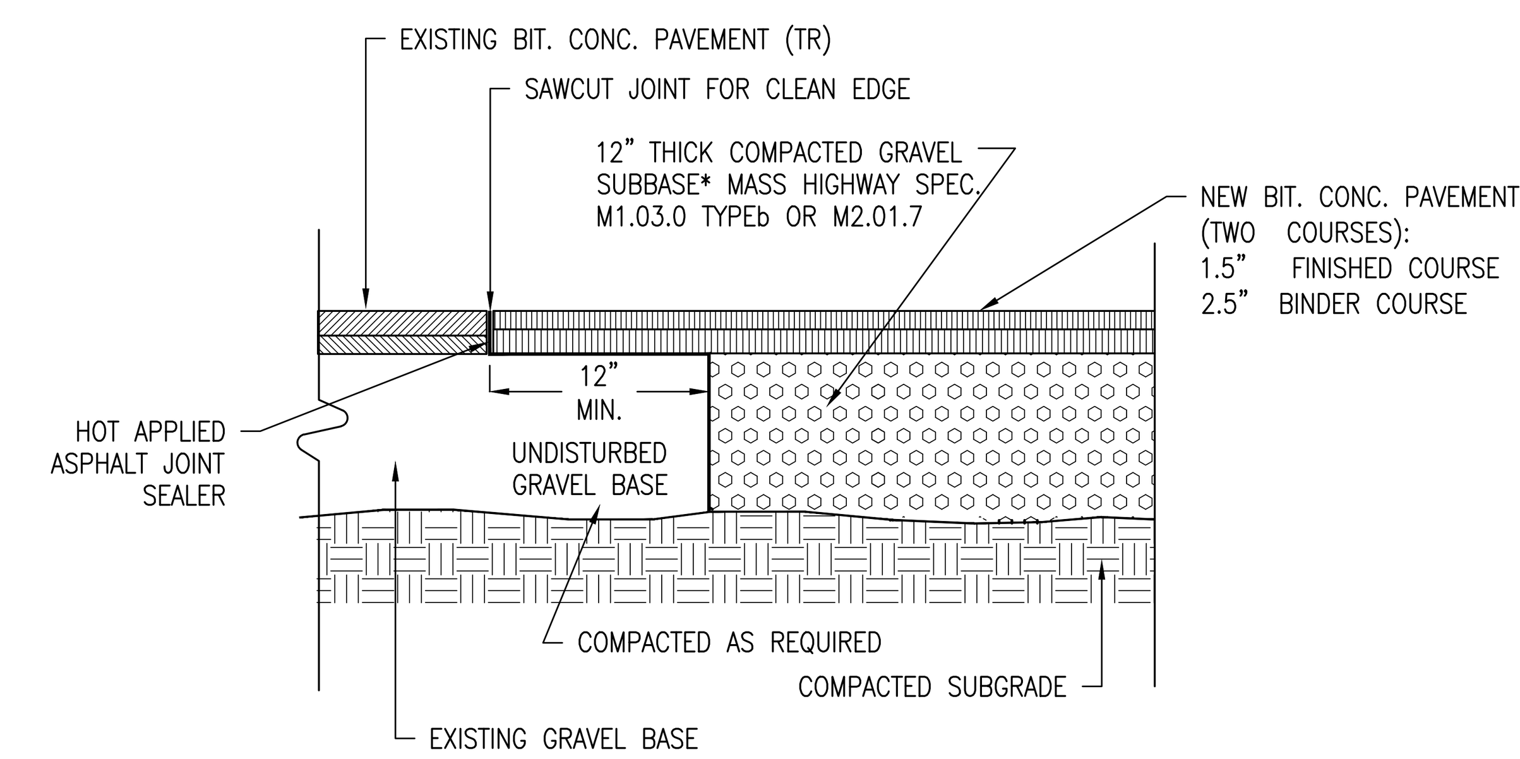
JOINT DETAIL

NOTES:
1. PROVIDE CONTROL JOINTS AS SHOWN AND AT 5'-0" O.C. MIN.
2. PROVIDE EXPANSION JOINTS AT 20'-0" O.C. MIN. JOINTS TO BE TRANSVERSE TO DIRECTION OF WALK EXCEPT AS SHOWN.
3. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

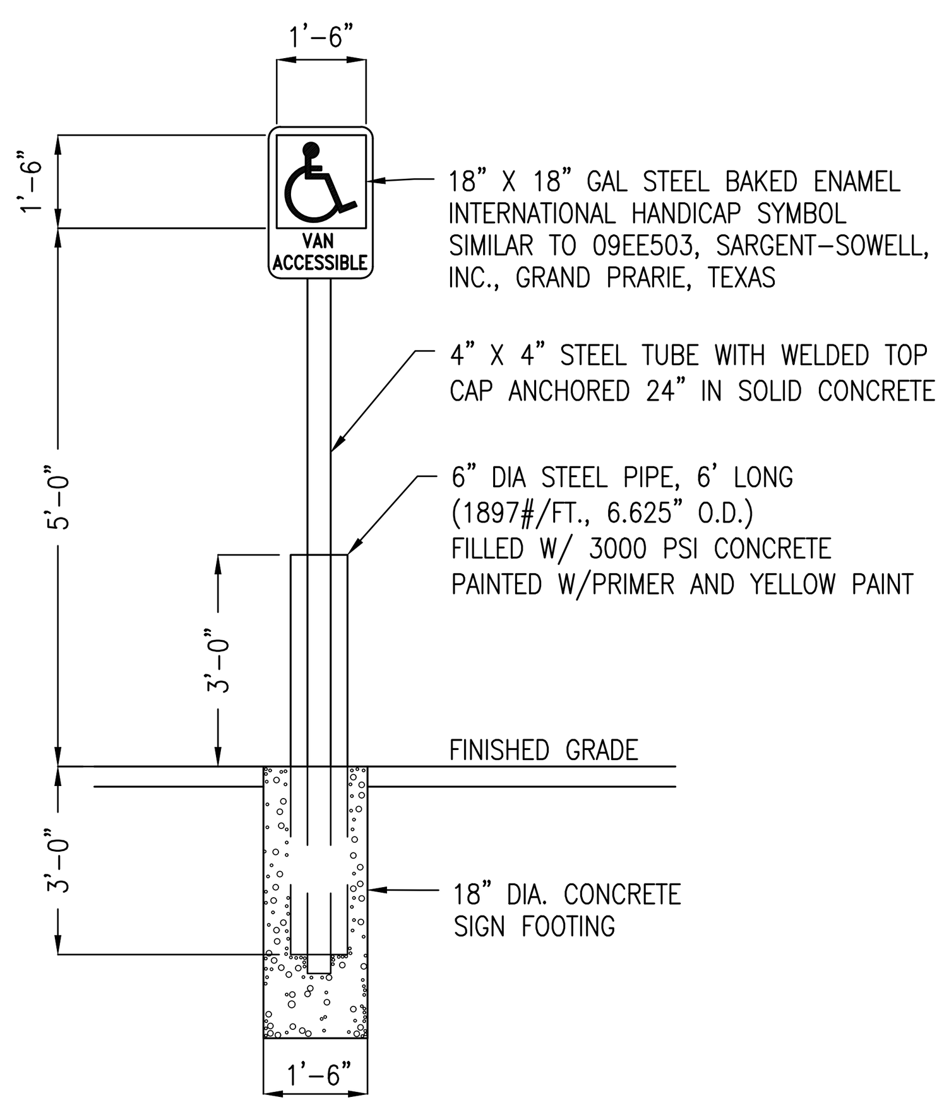
CONCRETE WALK-CURB DETAIL
(NOT TO SCALE)



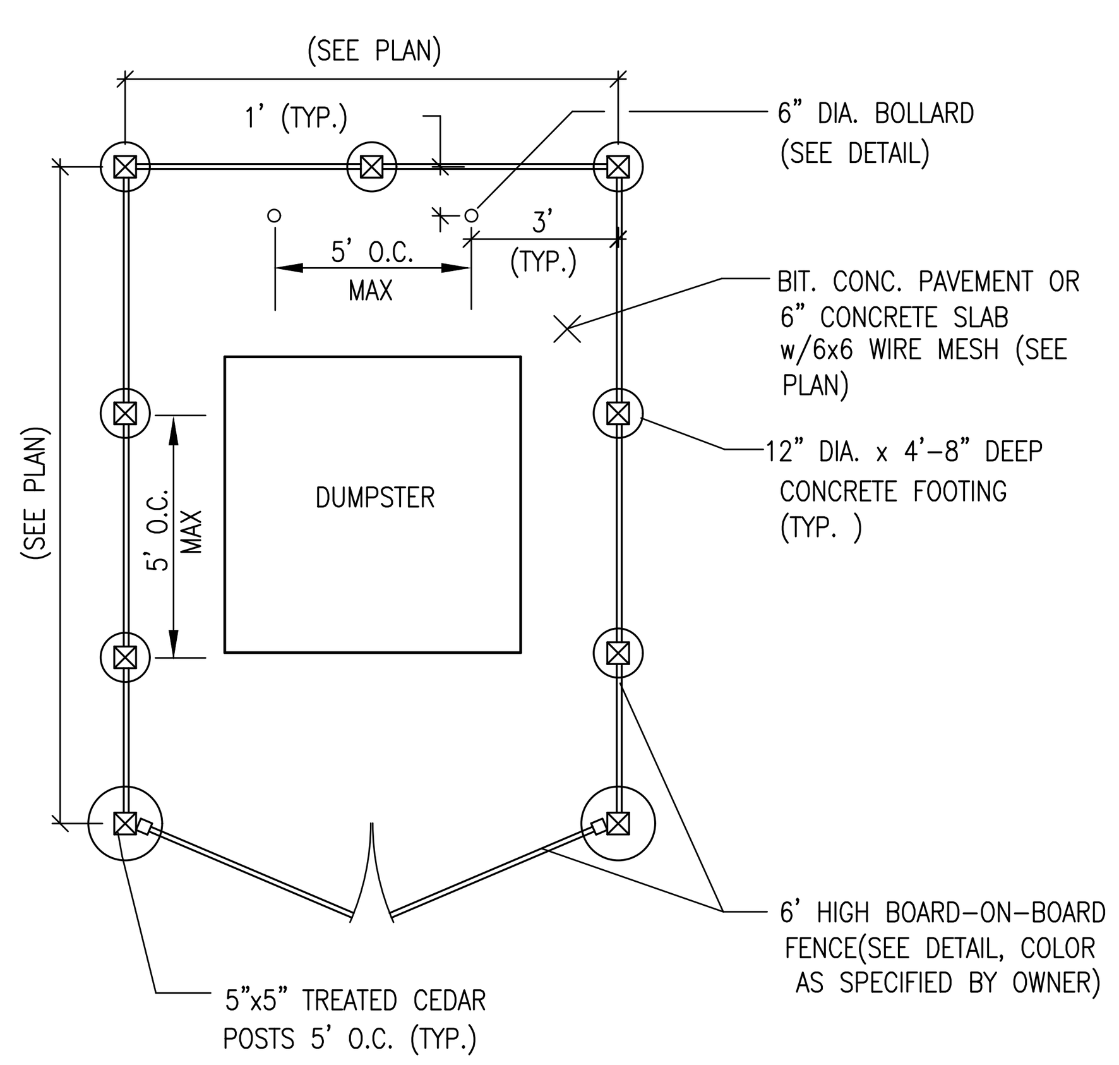
GRANITE CURB DETAIL (FOR USE IN STATE HIGHWAY LAYOUT)
(NOT TO SCALE)

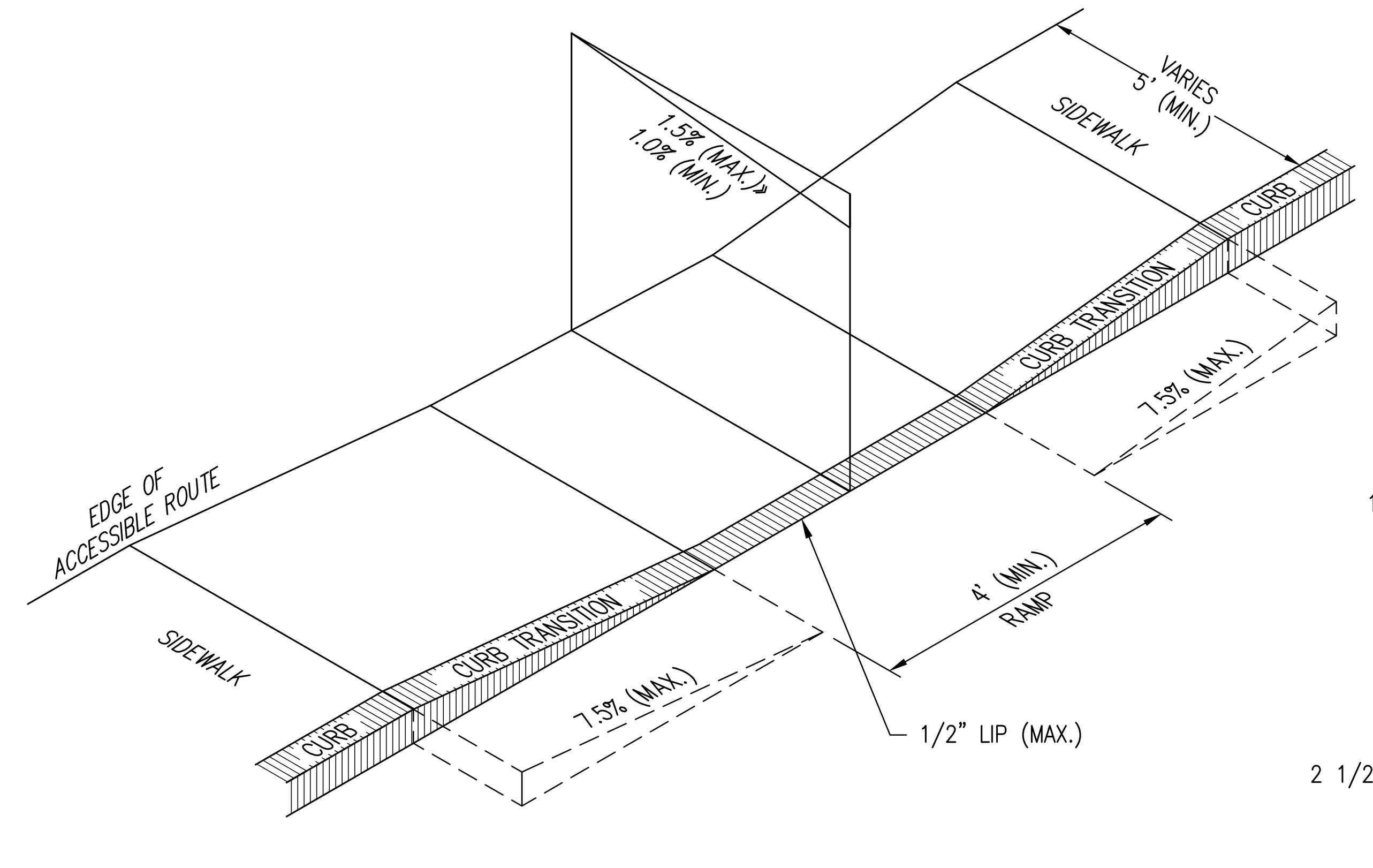


PAVEMENT & JOINTING DETAIL
(NOT TO SCALE)



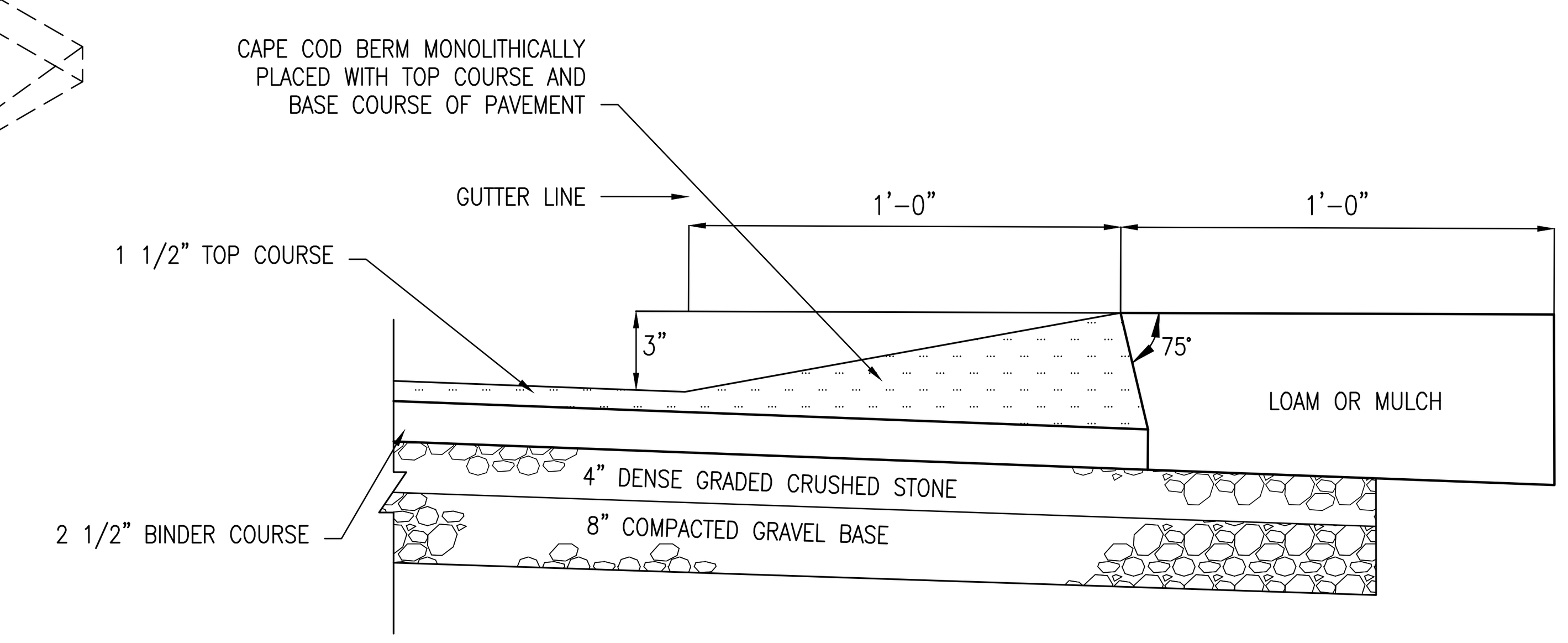
VAN ACCESSIBLE SIGN DETAIL
(NOT TO SCALE)





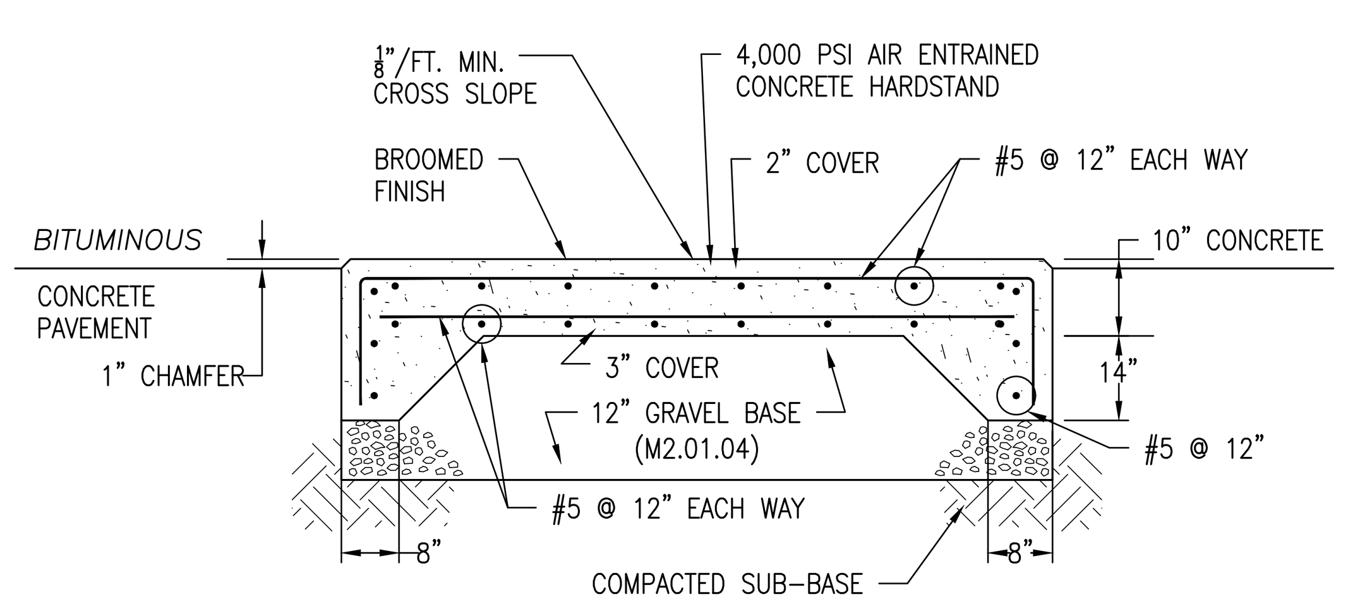
ACCESSIBLE CURB RAMP DETAIL (TYPE A)
(NOT TO SCALE)

NOTES:
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN.).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
5. CURB TREATMENT VARIES, SEE PLANS FOR CURB TYPE.
6. BASE OF RAMP SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. PROVIDE DETECTABLE WARNINGS AS REQUIRED BY CURRENT REGULATIONS.



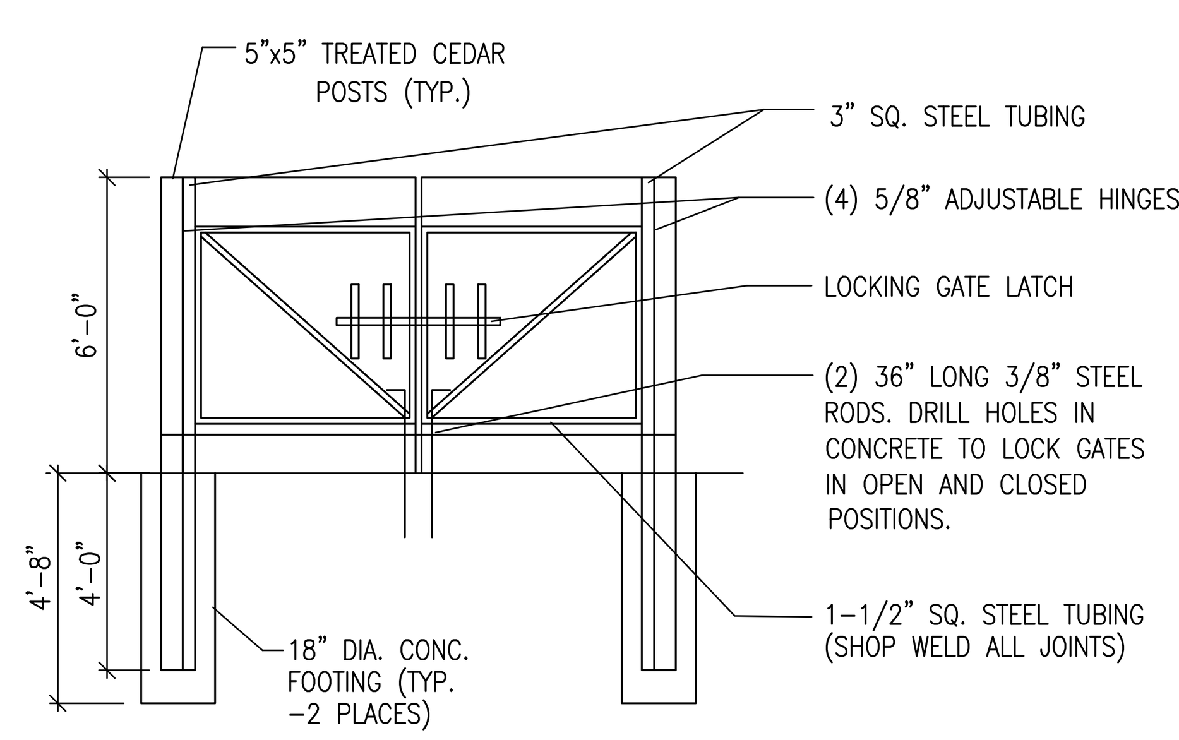
*IF THE IN-SITU MATERIAL IS TO BE USED FOR THE SUBBASE IT SHALL MEET THE MASS HIGHWAY SPEC. M1.03.0 TYPE B OR M2.01.7

MONOLITHIC BITUMINOUS CONCRETE BERM DETAIL (CAPE COD BERM)
(NOT TO SCALE)

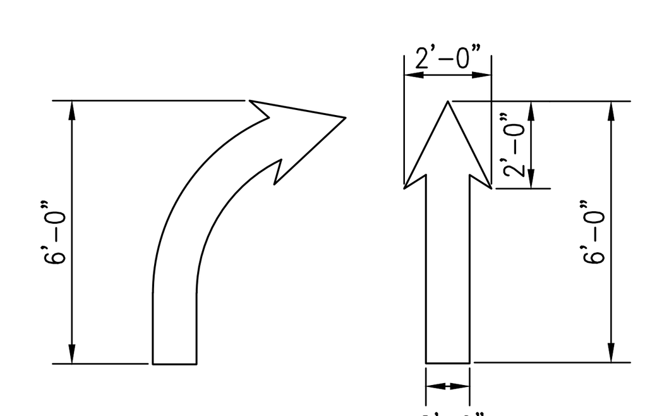


DUMPSTER PAD DETAIL DETAIL
(NOT TO SCALE)

NOTES:
1) LOCATIONS PER SITE PLAN
2) PROVIDE 1/2" DEEP CONTROL JOINTS AT 5' O.C.
3) PROVIDE CONSTRUCTION JOINT WITH 1/4" PREMOLDED 6" EXPANSION JOINT FILLER AT 25' O.C.

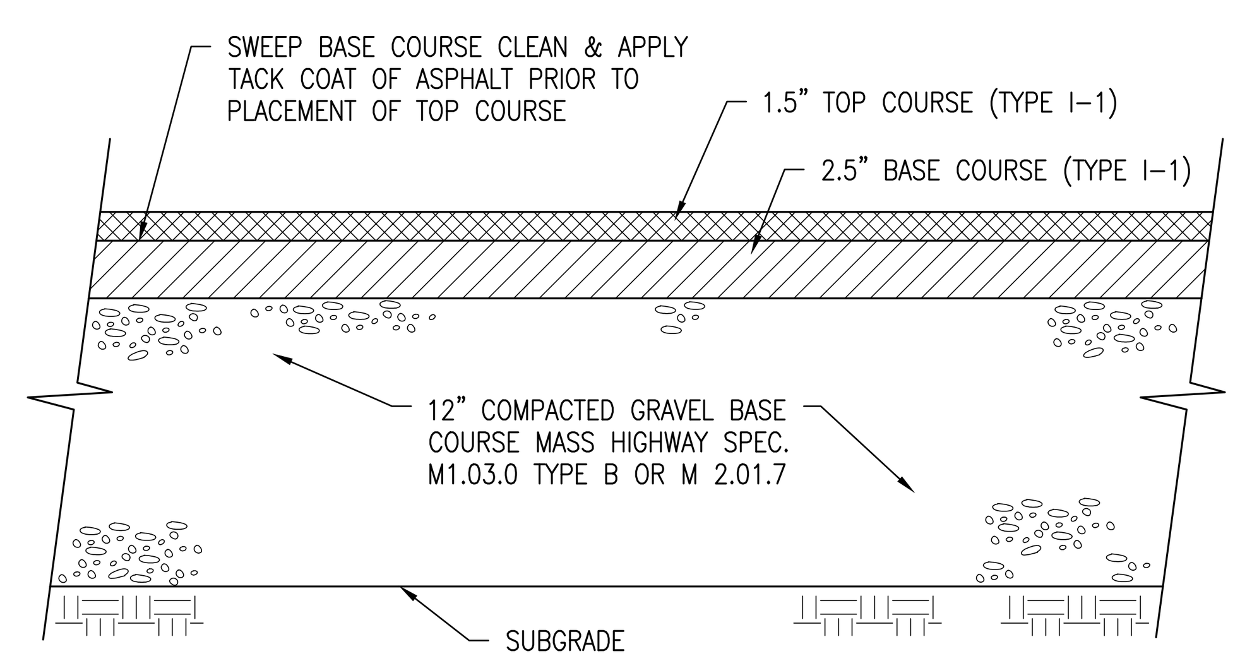


TRASH ENCLOSURE DETAIL
(NOT TO SCALE)



NOTE:
PAINT TO BE ONE COAT OF STANDARD DRY OIL BASED PAINT FOR MARKING ASPHALT OR CONCRETE, SPRAY APPLICATION WHITE UNLESS OTHERWISE NOTED.

PAINTED TRAFFIC ARROW
(NOT TO SCALE)



BITUMINOUS CONCRETE PAVEMENT
(NOT TO SCALE)

NOTE:
1. ALL UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH CLEAN GRAVEL BASE (95% COMPACTION)
2. ALL DRIVEWAY AND PARKING AREAS SHALL BE CONSTRUCTED IN ACCORDANCE WITH GEOTECHNICAL ENGINEERS SPECIFICATIONS.

merrillinc.com

REVISIONS:
1. PLANNING COMMENTS 11/15/23

DRAWN BY: NC
DESIGNED BY: DWK
CHECKED BY: DWK
SCALE: NOT TO SCALE
STAMP:
COMMONWEALTH OF MASSACHUSETTS
DEBORAH W. KELLER
CIVIL
No. 45874
REGISTERED PROFESSIONAL ENGINEER

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PROJECT #: 22-188

PROJECT:
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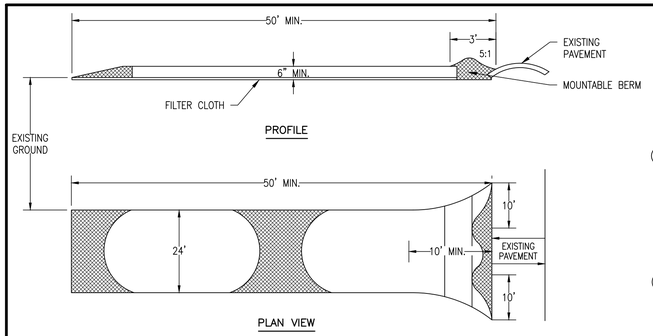
DRAWING PATH: H:\22-188\DESIGN\22-188 DET.DWG

DATE: OCTOBER 16, 2023
REVISED DATE: NOVEMBER 15, 2023

CONSTRUCTION DETAILS

C9.1

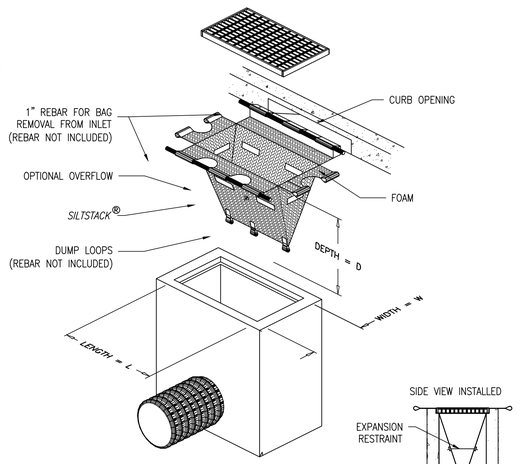


STABILIZED CONSTRUCTION ENTRANCE

(NOT TO SCALE)

SPECIFICATIONS

1. STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – AS REQUIRED, BUT NOT LESS THAN 50 FT.(EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS–OF–WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS–OF–WAYS MUST BE REMOVED IMMEDIATELY.
8. WASHING – WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



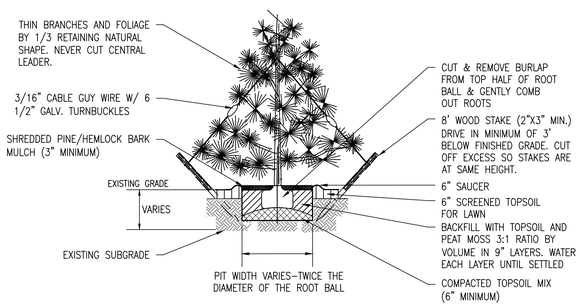
SILT SACK DETAIL

(NOT TO SCALE)

NOTE: REFER TO THE PLAN FOR PROPOSED LOCATION.

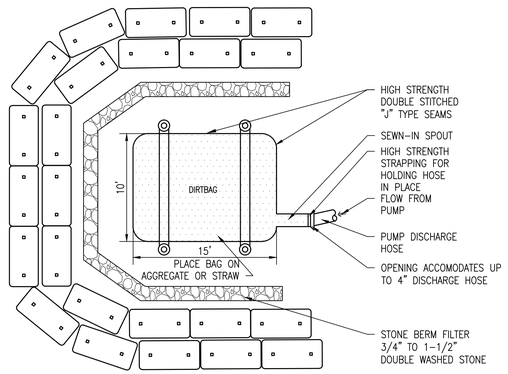
SILT SOCK DETAIL

(NOT TO SCALE)



EVERGREEN TREE PLANTING

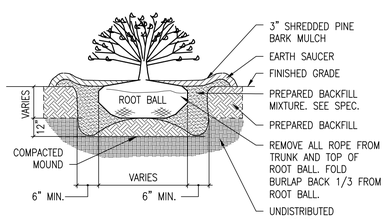
NOT TO SCALE



DIRTBAG DETAIL

(NOT TO SCALE)

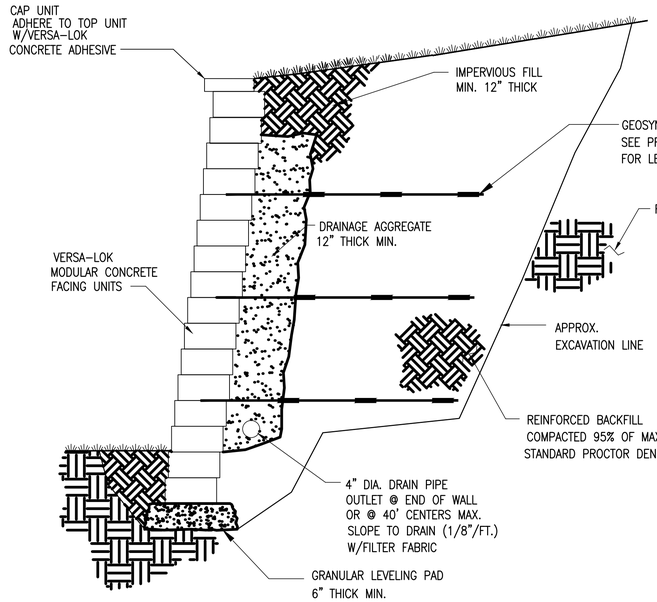
NOTE: CONTRACTOR WILL KEEP A SUFFICIENT SUPPLY OF HAY BALES, CLEAN STONE AND DIRT BAGS TO ENSURE SILTATION IS CONTROLLED ON SITE. A MINIMUM OF TWO TIMES THE HAY BALES AND STONE ARE NEEDED AND FOUR DIRT BAGS WILL BE KEPT ON SITE.



SHRUB PLANTING

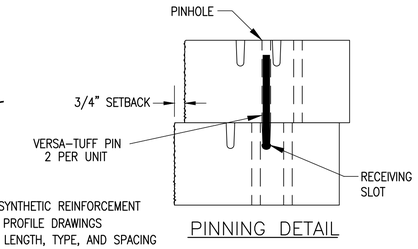
(NOT TO SCALE)

NOTES:
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

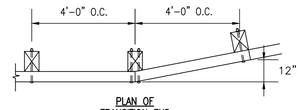


TYPICAL SECTION–REINFORCED RETAINING WALL

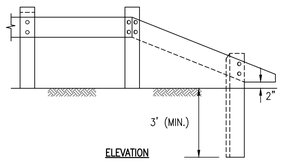
(NOT TO SCALE)



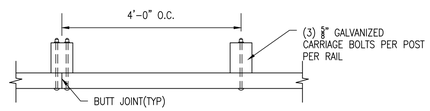
PINNING DETAIL



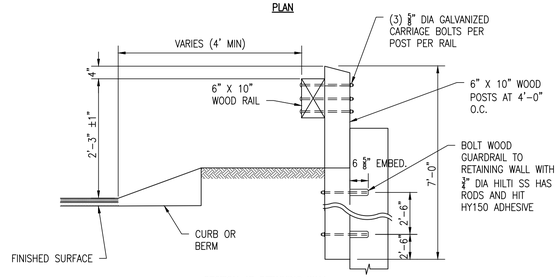
PLAN OF TRANSITION END



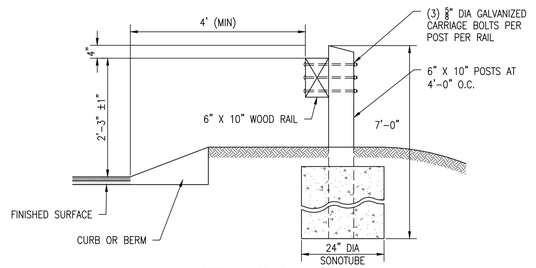
ELEVATION



PLAN



SECTION AT RETAINING WALL

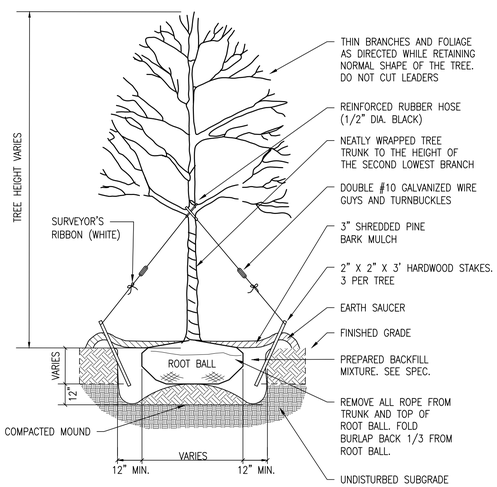


SECTION AT GRADE

NOTES:
1. ALL RAIL AND POST SECTIONS TO BE PRESSURE TREATED #1 SOUTHERN YELLOW PINE OR EQUAL.
2. BOLT CONNECTIONS TO BE DESIGNED BY A REGISTERED PROFESSIONAL STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

WOOD GUARDRAIL DETAIL

(NOT TO SCALE)



DECIDUOUS TREE PLANTING

NOT TO SCALE

NOTES:
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.

merrillinc.com

REVISIONS:

1. PLANNING COMMENTS 11/15/23

DRAWN BY: NC

DESIGNED BY: DWK

CHECKED BY: DWK

SCALE: NOT TO SCALE

STAMP:

COMMONWEALTH OF MASSACHUSETTS
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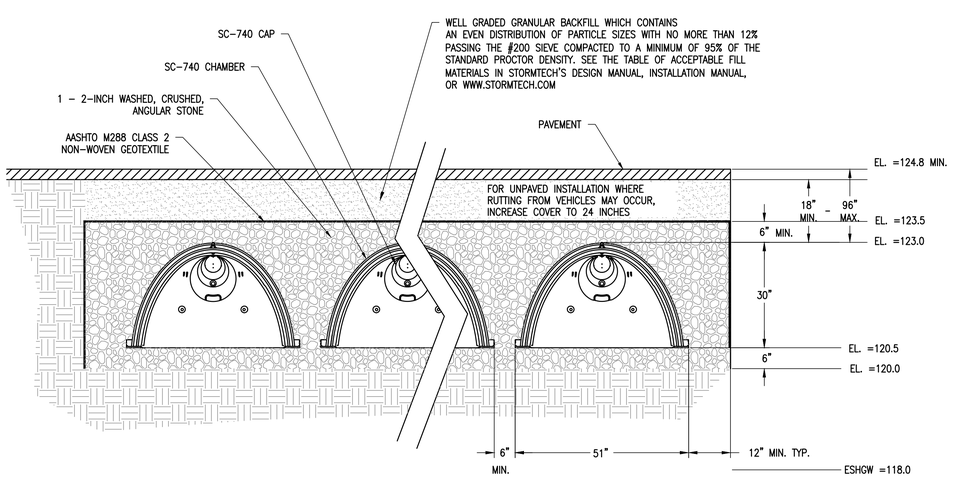
DRAWING PATH: H:\22–188\DESIGN\22–188 DET.DWG

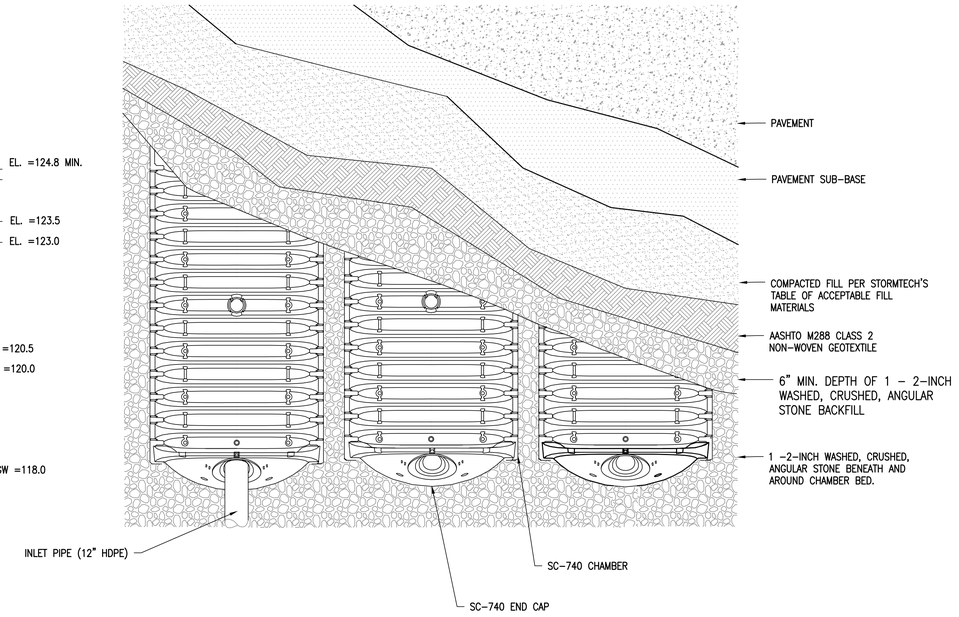
DATE: OCTOBER 16, 2023
REVISED DATE: NOVEMBER 15, 2023

CONSTRUCTION DETAILS

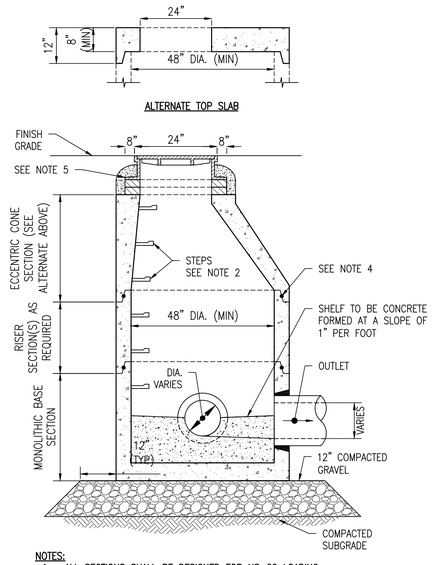
C9.2



STORMTECH SC-740 CHAMBER SYSTEM
CROSS SECTION DETAIL
(NOT TO SCALE)

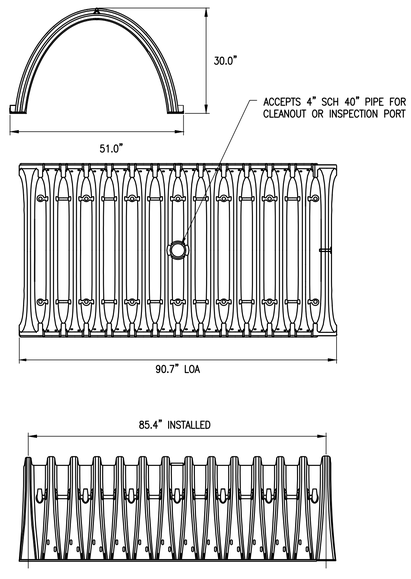


STORMTECH SC-740 CHAMBER SYSTEM
PLAN VIEW DETAIL
(NOT TO SCALE)



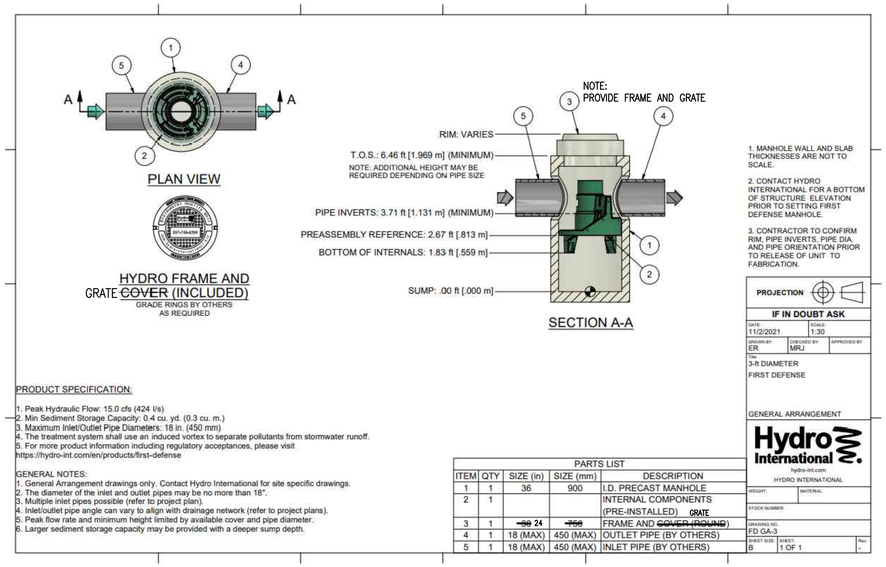
NOTES:
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
2. COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
3. PROVIDE "V" KNOCKOUTS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
4. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PREFORMED BUTYL RUBBER.
5. DRAIN MANHOLE FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR. (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM)

PRECAST CONCRETE MANHOLE DETAIL
(NOT TO SCALE)



STORMTECH SC-740 CHAMBER
(NOT TO SCALE)

NOMINAL CHAMBER SPECIFICATIONS	
SIZE (W x H x INSTALLED LENGTH)	51.0" x 30.0" x 85.4"
CHAMBER STORAGE	45.9 CUBIC FEET
MINIMUM INSTALLED STORAGE	74.9 CUBIC FEET
WEIGHT	75 LBS.



1. MANHOLE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
2. CONTACT HYDRO INTERNATIONAL FOR A BOTTOM OF STRUCTURE ELEVATION PRIOR TO SETTING FIRST DEFENSE MANHOLE.
3. CONTRACTOR TO CONFIRM RIM, PIPE INVERTS, PIPE DIA. AND PIPE ORIENTATION PRIOR TO RELEASE OF UNIT TO FABRICATION.

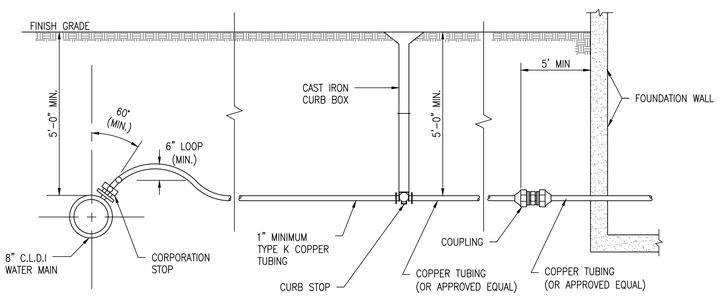
PROJECTION
IF IN DOUBT ASK
DATE: 11/2/2021 | SCALE: 1:30
DRAWN BY: ER | CHECKED BY: MRJ | APPROVED BY:
Title: 3-ft DIAMETER FIRST DEFENSE
GENERAL ARRANGEMENT
Hydro International
hydro-int.com
HYDRO INTERNATIONAL
WEIGHT: | MATERIAL:
STOCK NUMBER:
DRAWING NO: FD GA-3
SHEET SIZE: B | SHEET: 1 OF 1 | Rev: -

PRODUCT SPECIFICATION:
1. Peak Hydraulic Flow: 15.0 cfs (424 l/s)
2. Min Sediment Storage Capacity: 0.4 cu. yd. (0.3 cu. m.)
3. Maximum Inlet/Outlet Pipe Diameters: 18 in. (450 mm)
4. The treatment system shall use an induced vortex to separate pollutants from stormwater runoff.
5. For more product information including regulatory acceptances, please visit https://hydro-int.com/en/products/first-defense

GENERAL NOTES:
1. General Arrangement drawings only. Contact Hydro International for site specific drawings.
2. The diameter of the inlet and outlet pipes may be no more than 18".
3. Multiple inlet pipes possible (refer to project plan).
4. Inlet/outlet pipe angle can vary to align with drainage network (refer to project plans).
5. Peak flow rate and minimum height limited by available cover and pipe diameter.
6. Larger sediment storage capacity may be provided with a deeper sump depth.

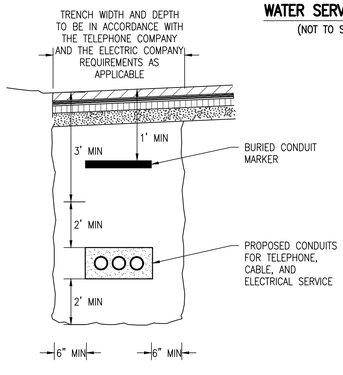
PARTS LIST				
ITEM	QTY	SIZE (in)	SIZE (mm)	DESCRIPTION
1	1	36	900	I.D. PRECAST MANHOLE
2	1			INTERNAL COMPONENTS (PRE-INSTALLED) GRATE
3	1	~~36~~ 24	~~750~~	FRAME AND ~~COVER (ROUND)~~
4	1	18 (MAX)	450 (MAX)	OUTLET PIPE (BY OTHERS)
5	1	18 (MAX)	450 (MAX)	INLET PIPE (BY OTHERS)

3-FT DIAMETER FIRST DEFENSE UNIT
(NOT TO SCALE)

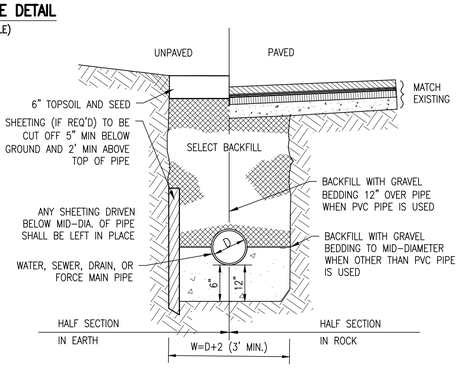


NOTE:
VERIFY MATERIALS AND TAPPING AND INSTALLATION REQUIREMENTS WITH THE TOWN WATER DEPARTMENT

WATER SERVICE DETAIL
(NOT TO SCALE)



TYPICAL ELECTRIC/TELEPHONE/CABLE CONDUIT (US-UTILITY SERVICE) DETAIL
(NOT TO SCALE)



TYPICAL UTILITY TRENCH
(NOT TO SCALE)

merrillinc.com

REVISIONS:
1. PLANNING COMMENTS 11/15/23

DRAWN BY: NC
DESIGNED BY: DWK
CHECKED BY: DWK
SCALE: NOT TO SCALE

STAMP:
COMMONWEALTH OF MASSACHUSETTS
DEBORAH W. KELLER
CIVIL
No. 45874
REGISTERED PROFESSIONAL ENGINEER

Merrill
Engineers and Land Surveyors
427 Columbia Road
Hanover, MA 02339
781-826-9200

40 Court Street, Suite 2A
Plymouth, MA 02360
508-746-6060

448 N. Falmouth Highway
North Falmouth, MA 02556
508-563-2183

Marine Division:
26 Union Street
Plymouth, MA 02360
508-746-6060

PROJECT #: 22-188

PROJECT:
DEFINITIVE SITE PLAN
2053, 2055, 2057 & 2103 WASHINGTON STREET
HANOVER, MASSACHUSETTS

CLIENT:
2103 WASHINGTON ST LLC
552 ADAMS STREET
MILTON, MA 02186
(781) 982-1144

DRAWING PATH: H:\22-188\DESIGN\22-188 DET.DWG

DATE: OCTOBER 16, 2023
REVISED DATE: NOVEMBER 15, 2023

CONSTRUCTION DETAILS

C9.3