

WINTER STREET

(Assessors Map 76, Lot 18)

Definitive Subdivision Plan

in

Hanover, Massachusetts

FOR REGISTRY USE ONLY

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 2, 1976 AND REVISED JANUARY 12, 1988.

Bradley C. McKenzie
BRADLEY C. MCKENZIE, P.E. MCKENZIE ENGINEERING GROUP, INC.

REV	DATE	DESCRIPTION	BY	APP

MCKENZIE
ENGINEERING GROUP

Assinippi Office Park
150 Longwater Drive, Suite 101
Norwell, MA 02061
P: 781.792.3900
F: 781.792.0333
www.mckeng.com

I, _____, CLERK OF THE TOWN OF HANOVER, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD WAS RECEIVED ON _____ AND RECORDED AT THIS OFFICE. NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT FOLLOWING SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____

APPROVED _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____, DATED _____ AND TO BE RECORDED HERewith.

APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED

DATE OF APPLICATION: _____

DATE OF HEARING: _____

DATE OF APPROVAL: _____

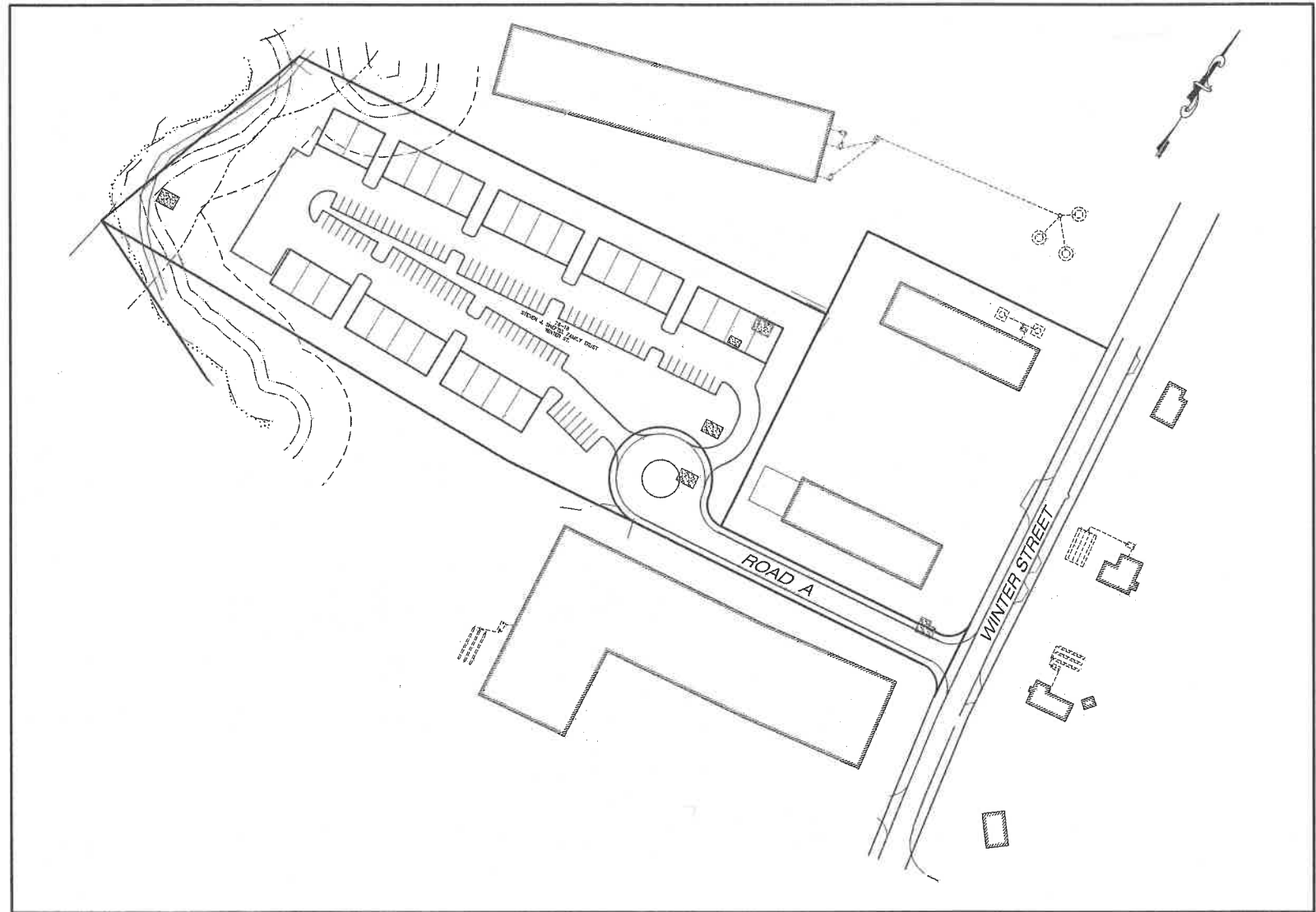
DATE OF ENDORSEMENT: _____

HANOVER PLANNING BOARD

DEFINITIVE SUBDIVISION PLAN
WINTER STREET
(ASSESSOR'S MAP 76, LOT 18)
WINTER STREET
HANOVER, MASSACHUSETTS

Drawing Index:

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Owner
Steven J. Sheftel, Trustee
The Steven J. Sheftel Family Trust
2697 N. Ocean Blvd., #F510
Boca Raton, FL 33431

Applicant:
McSharry, Bros., Inc.
7 Leah Drive
Rockland, MA 02370

Engineer/Surveyor:
McKenzie Engineering Group, Inc.

McKenzie Engineering Group, Inc. Consulting Engineers
150 Longwater Drive, Suite 101, Norwell, Massachusetts 02061

Issued Date: July 2, 2018

REGISTERED PROFESSIONAL ENGINEER:

APPLICANT:
MCSHARRY BROS., INC.
7 LEAH DRIVE
ROCKLAND, MASSACHUSETTS 02370

PERMIT SET

COVER SHEET

DRAWN BY: AWL
DESIGNED BY: AWL
CHECKED BY: BCM
APPROVED BY: BCM
DATE: JULY 2, 2018
SCALE: AS NOTED
PROJECT NO.: 217-169
DWG. TITLE:

2018 JUL -2 PM 3:43
TOWN CLERK

AC	ASBESTOS CEMENT
BIT	BITUMINOUS
BOL	BOLLARD
CB	CATCH BASIN
CD	CONCRETE BOUND WITH DRILL HOLE
CH/CD	CONCRETE BOUND WITH LAND COURT DISK
CB/LCD	CONCRETE BOUND WITH LEAD PLUG
CCB	CAPE COD BERM
CI	CAST IRON
CLDI	CEMENT LINED DUCTILE IRON
CLF	CHAINLINK FENCE
CONC.	CONCRETE
CONN.	CONNECTION
D	DRAIN
DMH	DRAIN MANHOLE
ELEC	ELECTRIC
ELEV.	ELEVATION
EM	ELECTRIC METER
F	FIRST FLOOR
FND	FOUND
FSB	FIELDSTONE BOUND
GAR.	GARAGE
G	GAS
GG	GAS GATE
GM	GAS METER
GU	GUY WIRE
R	IRON ROD
LP	LIGHT POLE
M	MONITORING WELL
(M)	MARKED
N/F	NEW OR FORMERLY
NO	NUMBER
OHW	OVERHEAD WIRES
PI	PLASTIC
PROP	PROPOSED
PVC	POLYVINYL CHLORIDE PIPE
R	RM
R=	RADIUS
RCP	REINFORCED CONCRETE PIPE
RD	ROAD DRAIN
RET	RETAINING
SH	STONE BOUND
SDH	SLOPED BOUND WITH DRILLHOLE
SGC	SLOPED GRANITE CURB
SMH	SEWER MANHOLE
STE	STEEL
TEC	TELEPHONE, ELECTRIC, CABLE
TP	TEST PIT
TY	TYPICAL
UGE	UNDERGROUND ELECTRIC
UT	UTILITY POLE
VGC	VERTICAL GRANITE CURB

Existing	Proposed	Description
$\times 100.50$	$+ 100.50$	SPOT ELEVATIONS
		HYDRANT
		WATER GATE
		WATER SERVICE
		UTILITY POLE
		GUY WIRE
		MAILBOX
		DRAIN MANHOLE
		CATCH BASIN
		FLARED END SECTION
		MONITORING WELL
		TEST PIT
		SIGN
		GRANITE OR CONCRETE BOUND
		IRON PIN
		CONIFEROUS TREE
		DECIDUOUS TREE
		MAJOR CONTOUR
		MINOR CONTOUR
		CHAINLINK FENCE
		OVERHEAD WIRES
		WATER LINE
		GAS LINE
		UNDERGROUND ELECTRIC
		STONE WALL
		TREELINE

1. DEED REFERENCE: PLYMOUTH COUNTY REGISTRY OF DEEDS, DEED BOOK 34855, PAGE 265
2. ZONING: LOCUS IS SITUATED WITHIN THE INDUSTRIAL ZONING DISTRICT.
DIMENSIONAL REQUIREMENTS

LOT SIZE	44,000 S.F. (UPLAND)
FRONTAGE	200 FT.
BLDG. SETBACKS	75 FT. FRONT YARD
	25 FT. SIDE YARD
	50 FT. REAR YARD
LOT COVERAGE	60%
3. TAX MAP REFERENCE: LOCUS IS SHOWN AS LOT 18 ON THE TOWN OF HANOVER ASSESSOR'S MAP 76.
4. AQUIFER PROTECTION: LOCUS IS NOT SITUATED WITHIN A WATER RESOURCE PROTECTION OVERLAY DISTRICT OR A DEP ZONE II: WELLHEAD PROTECTION AREA.
5. WETLANDS: WETLAND RESOURCE AREAS WERE DELINEATED BY ENVIRONMENTAL CONSULTING CONSULTING AND RESTORATION ON DECEMBER 12, 2017.
6. FEMA: LOCUS FALLS WITHIN ZONE AE AND ZONE X AS SHOWN ON THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 2502300201J, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 2012.
7. EXISTING CONDITIONS: EXISTING TOPOGRAPHIC INFORMATION AND PROPERTY LINES SHOWN HEREON ARE THE RESULT OF AN ON THE GROUND FIELD SURVEY PERFORMED BY MCKENZIE ENGINEERING GROUP, INC. BETWEEN DECEMBER OF 2017 AND MARCH OF 2018.
8. DATUM: ALL ELEVATIONS, SHOWN HEREON, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
9. EXISTING UTILITIES: UTILITY INFORMATION FROM ABOVE GROUND OBSERVED EVIDENCE IN CONJUNCTION WITH DIG SAFE MARKINGS AND RECORD PLANS. THE LAND SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE LAND SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM AVAILABLE INFORMATION AND CONSTRUCTION AS THE LAND SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. BEFORE CONSTRUCTION CALL DIG SAFE SYSTEMS, INC. AT 1-888-344-7233.
10. FIELD CHANGES: ANY CHANGE IN THE FIELD CONDITIONS SHOULD BE REPORTED TO THE ENGINEER TO INSURE THAT ANY MODIFICATIONS TO THE ORIGINAL DESIGN ARE PROPER AND ADEQUATE TO SERVE THE PROJECT'S NEEDS, AND COMPLY WITH THE APPLICABLE STANDARDS AND REGULATIONS.
11. GENERAL CONSTRUCTION: ALL CONSTRUCTION SHALL CONFORM TO THE RULES AND REGULATIONS OF THE TOWN OF HANOVER PLANNING BOARD AND DEPARTMENT OF PUBLIC WORKS SPECIFICATIONS.
12. NHESP: THE SUBJECT PROPERTY DOES NOT FALL WITHIN THE NATURAL HERITAGE ENDANGERED SPECIES PROGRAM PRIORITY HABITAT AS SHOWN ON THE MASSGIS.

<p>1. SECT. IV.A.1.b: STREETS, LOCATION</p> <p><u>REQUIRED:</u> "PROVISION SATISFACTORY TO THE PLANNING BOARD SHALL BE MADE FOR THE PROPER PROJECTION OF STREETS, OR FOR ACCESS TO ADJOINING PROPERTY WHICH IS NOT YET SUBDIVIDED."</p> <p><u>PROVIDED:</u> NO PROJECTION OF STREET TO ADJOINING PROPERTY.</p>	<p>4. SECT. V.B.1: CURBS</p> <p><u>REQUIRED:</u> "VERTICLE GRANITE CURBS SHALL BE INSTALLED ON ALL STREET EXCEPT FOR CUL-DE-SAC ISLANDS WHERE GRANITE EDGING SHALL BE USED.</p> <p><u>PROVIDED:</u> CAPE COD BERM IS PROPOSED IN LIEU OF GRANITE CURBING EXCEPT AT ENTRANCE RADII AND CUL-DE-SAC.</p>
<p>2. SECT. IV.A.2.e: STREETS, ALIGNMENT</p> <p><u>REQUIRED:</u> "PROPERTY LINES AT STREET INTERSECTIONS SHALL BE ROUNDED OR CUT BACK TO PROVIDE FOR A CURB RADIUS OF NOT LESS THAN FORTY (40) FEET."</p> <p><u>PROVIDED:</u> THE PROPOSED CURB RADIUS AT THE INTERSECTION OF WINTER STREET IS THIRTY NINE (39) FEET.</p>	<p>5. SECT. V.C.1: SIDEWALKS</p> <p><u>REQUIRED:</u> "PAVED SIDEWALKS SHALL BE CONSTRUCTED ALONG THE FULL LENGTH OF BOTH SIDES OF EVERY SUBDIVISION WAY..."</p> <p><u>PROVIDED:</u> NO SIDEWALKS ARE PROVIDED.</p>
<p>3. SECT. IV.A.5.c: DEAD-END STREET TURN-AROUND ON EXTENDED CENTERLINE</p> <p><u>REQUIRED:</u> "THE CENTERS OF THE TURN-AROUND AND THE CENTRAL CIRCULAR ISLAND SHALL BE LOCATED ON THE EXTENDED CENTERLINE OF THE DEAD-END WAY."</p> <p><u>PROVIDED:</u> THE PROPOSED CUL-DE-SAC IS OFFSET FROM THE CENTERLINE OF THE ROADWAY.</p>	<p>6. SECT. V.I.1: STREET TREES</p> <p><u>REQUIRED:</u> "STREET TREES SHALL BE PLANTED AT A MINIMUM NUMBER OF ONE TREE PER FORTY FEET OF ROAD ON EACH SIDE OF THE ROAD WITHIN THE RIGHT OF WAY."</p> <p><u>PROVIDED:</u> STREET TREES ARE PROVIDED ALONG THE NORTHERN SIDE OF ROADWAY.</p>



FOR REGISTRY USE ONLY	
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I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 2, 1976 AND REVISED JANUARY 12, 1988.

BRADLEY C. MCKENZIE, P.E. MCKENZIE
ENGINEERING GROUP, INC.

I, _____, CLERK OF THE TOWN
OF HANOVER, HEREBY CERTIFY THAT THE NOTICE OF
APPROVAL OF THIS PLAN BY THE PLANNING BOARD
WAS RECEIVED ON _____ AND RECORDED AT
THIS OFFICE NO NOTICE OF APPEAL WAS RECEIVED
DURING THE TWENTY DAYS NEXT FOLLOWING SUCH
RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____

APPROVED _____, SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT EXECUTED
BY _____, DATED _____,
AND TO BE RECORDED HERewith.

APPROVAL UNDER THE SUBDIVISION CONTROL
LAW REQUIRED

DATE OF APPLICATION:

DATE OF HEARING:

DATE OF APPROVAL:

DATE OF ENDORSEMENT: _____

HANOVER PLANNING BOARD

**DEFINITIVE SUBDIVISION PLAN
WINTER STREET
(ASSESSOR'S MAP 76, LOT 18)
WINTER STREET
HANOVER, MASSACHUSETTS**

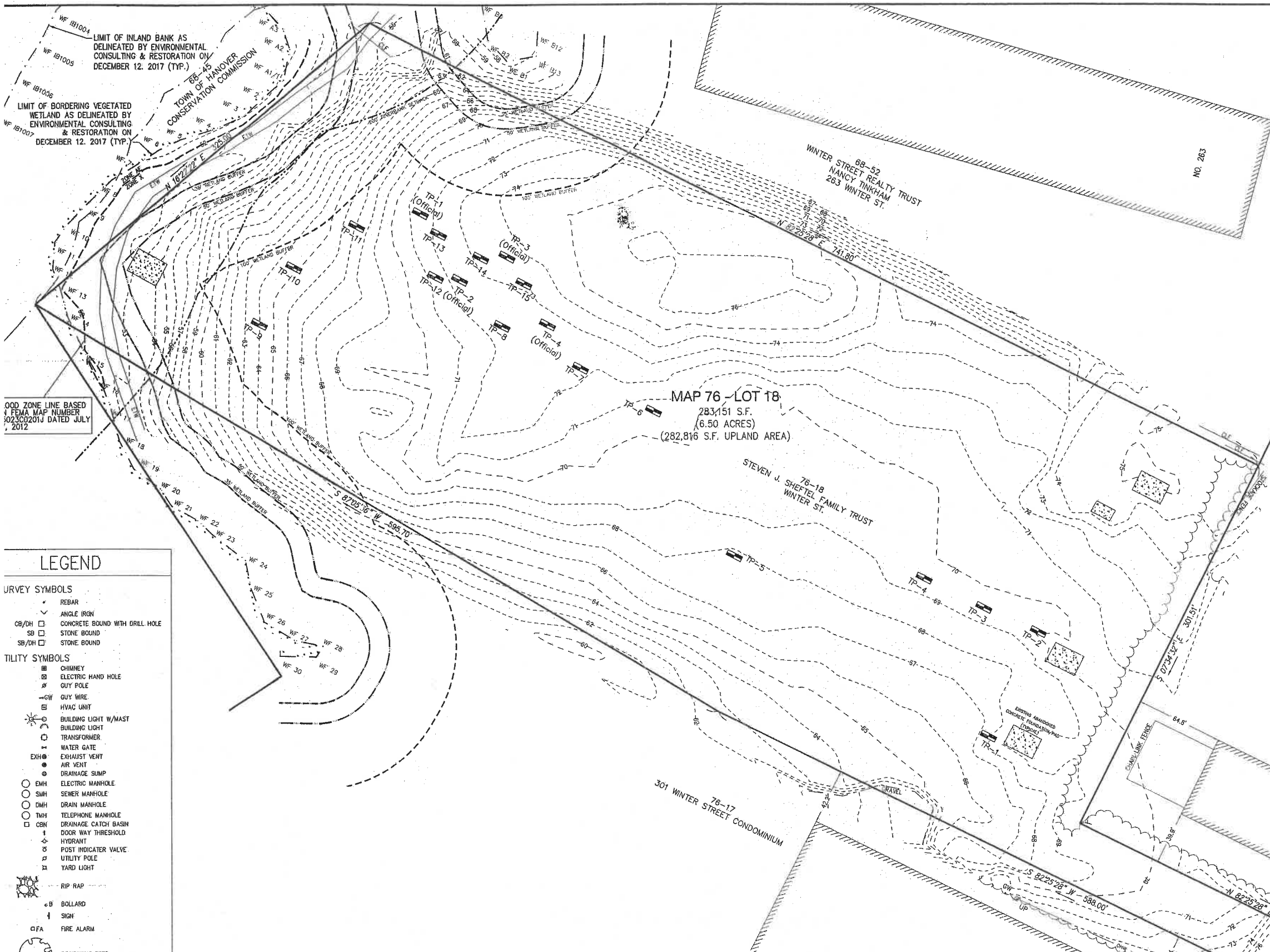
REGISTERED PROFESSIONAL
ENGINEER:

APPLICANT: MCSHARRY BROS., INC.
7 LEAH DRIVE
ROCKLAND, MASSACHUSETTS 02370

PERMITTEE

DRAWN BY:	AWL
DESIGNED BY:	AWL
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	JULY 2, 2018
SCALE:	AS NOTED
PROJECT NO.:	217-169
DWG. TITLE:	

General Notes,



LEGEND

SURVEY SYMBOLS

- REBAR
- ANGLE IRON
- CONCRETE BOUND WITH DRILL HOLE
- STONE BOUND
- STONE BOUND

UTILITY SYMBOLS

- CHIMNEY
- ELECTRIC HAND HOLE
- GUY POLE
- GUY WIRE
- HVAC UNIT
- BUILDING LIGHT W/MAST
- BUILDING LIGHT
- TRANSFORMER
- WATER GATE
- EXHAUST VENT
- AIR VENT
- DRAINAGE SUMP
- ELECTRIC MANHOLE
- SEWER MANHOLE
- DRAIN MANHOLE
- TELEPHONE MANHOLE
- DRAINAGE CATCH BASIN
- DOOR WAY THRESHOLD
- HYDRANT
- POST INDICATOR VALVE
- UTILITY POLE
- YARD LIGHT
- RIP RAP
- BOLLARD
- SIGN
- FIRE ALARM
- DECIDUOUS TREE
- CONIFEROUS TREE

LINE DESIGNATORS

- WATER MAIN
- HANDRAIL
- JERSEY BARRIER
- GUARD RAIL
- RAILROAD TRACKS
- OVERHEAD WIRES
- GAS LINE
- WETLAND BUFFER

ABBREVIATIONS

- FTE FIRST FLOOR ELEVATION
- BIT CONC. BITUMINOUS CONCRETE PAVEMENT
- CCB CAPE COD BERM
- EP EDGE OF PAVEMENT

- SURVEY NOTES:**
- THIS SURVEY WAS MADE ON THE GROUND IN DECEMBER OF 2017 BY MCKENZIE ENGINEERING GROUP, INC.
 - ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM (NAVD) OF 1988.
 - WETLAND RESOURCE AREAS WERE ENCOUNTERED DURING THE FIELD SURVEY.
 - MINIMUM SETBACK REQUIREMENTS:
ZONING DISTRICT: INDUSTRIAL
FRONT YARD 75'
SIDE YARD 25'
REAR YARD 40'
 - THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE AE & ZONE X OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 25023C0201J, WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 2012.

GRAPHIC SCALE

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HANOVER PLANNING BOARD

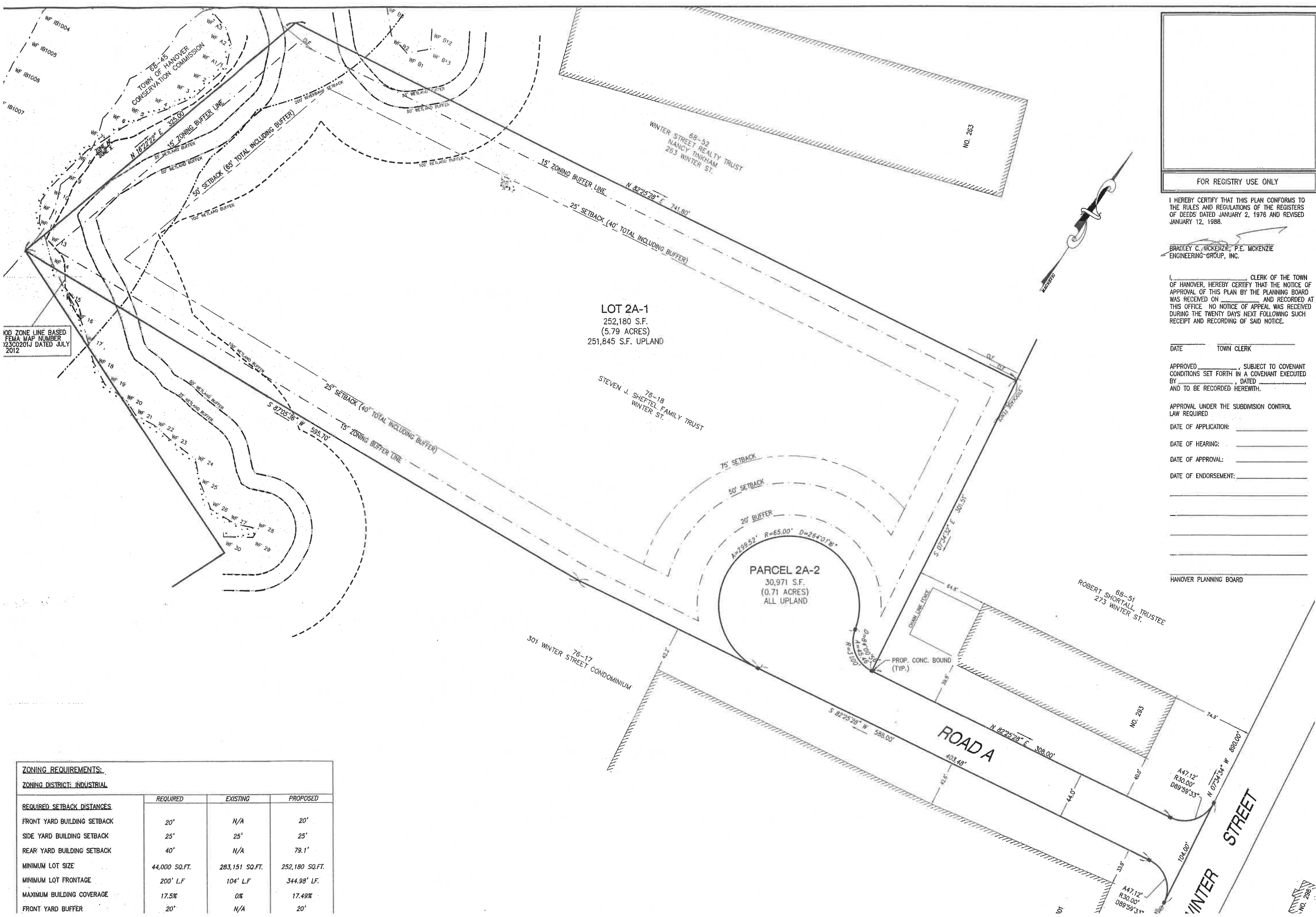
DEFINITIVE SUBDIVISION PLAN
WINTER STREET
(ASSESSOR'S MAP 76, LOT 18)
WINTER STREET
HANOVER, MASSACHUSETTS

REGISTERED PROFESSIONAL SURVEYOR:
RICHARD J. HOOD
No. 35031
PROFESSIONAL LAND SURVEYOR

APPLICANT:
MC SHARRY BROS., INC.
7 LEAH DRIVE
ROCKLAND, MASSACHUSETTS 02370

DRAWN BY: AWL
DESIGNED BY: AWL
CHECKED BY: BCM
APPROVED BY: BCM
DATE: JULY 2, 2018
SCALE: 1"=40'
PROJECT NO.: 217-169
DWG. TITLE: Existing

PERMIT SET



100' ZONE LINE BASED
FEMA MAP NUMBER
12300201J DATED JULY
2012

ZONING REQUIREMENTS:			
ZONING DISTRICT: INDUSTRIAL			
REQUIRED SETBACK DISTANCES	REQUIRED	EXISTING	PROPOSED
FRONT YARD BUILDING SETBACK	20'	N/A	20'
SIDE YARD BUILDING SETBACK	25'	25'	25'
REAR YARD BUILDING SETBACK	40'	N/A	79.1'
MINIMUM LOT SIZE	44,000 SQ.FT.	283,151 SQ.FT.	252,180 SQ.FT.
MINIMUM LOT FRONTAGE	200' L.F.	104' L.F.	344.98' L.F.
MAXIMUM BUILDING COVERAGE	17.5%	0%	17.49%
FRONT YARD BUFFER	20'	N/A	20'

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DATE OF APPLICATION: _____

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DATE OF ENDORSEMENT: _____

HANOVER PLANNING BOARD

REV	DATE	DESCRIPTION	BY	APP

ME
MCKENZIE
ENGINEERING GROUP

Assinippi Office Park
150 Longwater Drive, Suite 101
Norwell, MA 02061
P: 781.792.3900
F: 781.792.0333
www.mckeng.com

DEFINITIVE SUBDIVISION PLAN

WINTER STREET

(ASSESSOR'S MAP 76, LOT 18)

WINTER STREET

HANOVER, MASSACHUSETTS

REGISTERED PROFESSIONAL SURVEYOR:

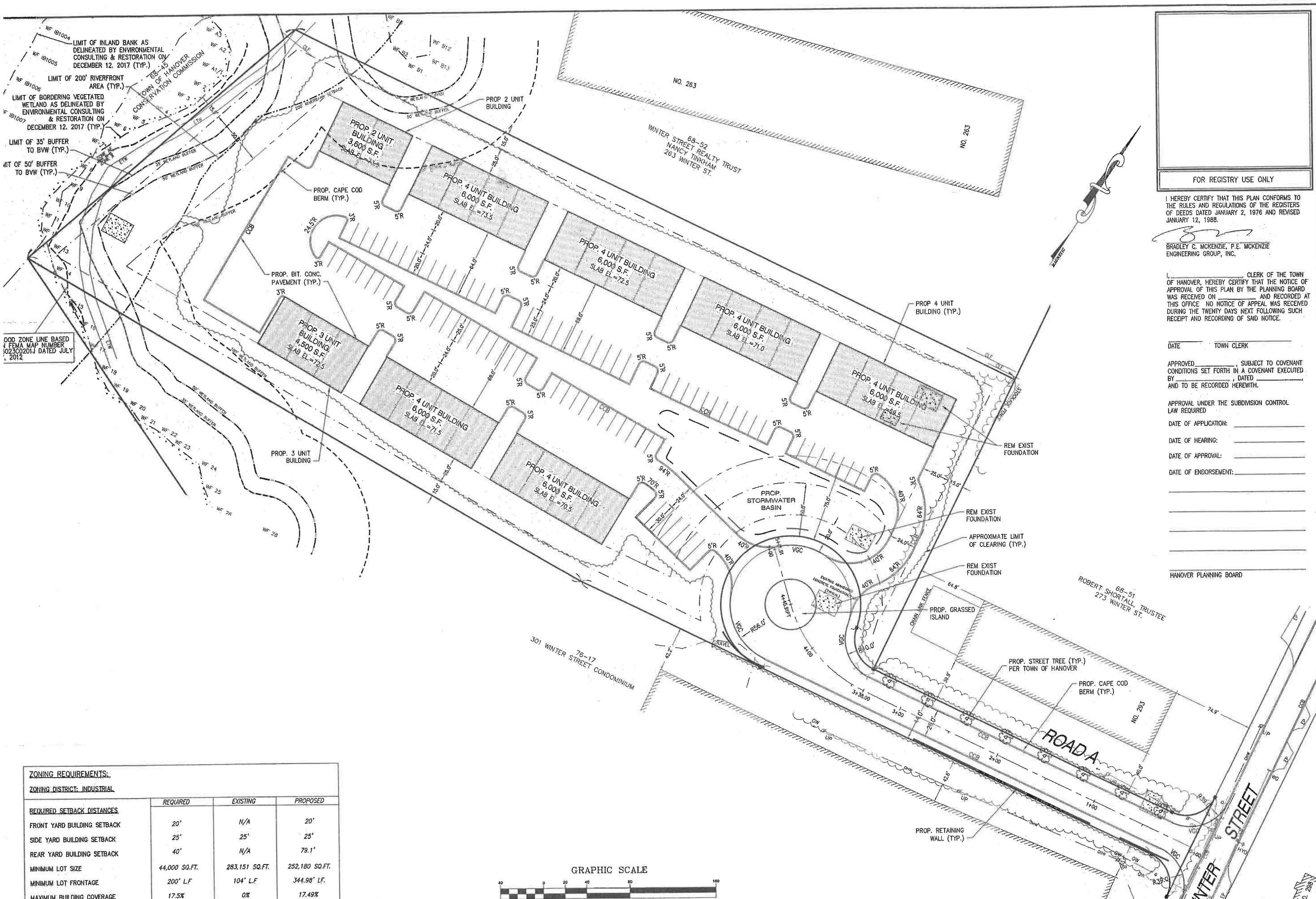
RICHARD HOOD
No. 35031
PROFESSIONAL LAND SURVEYOR

APPLICANT:
MCSHARRY BROS., INC.
7 LEAH DRIVE
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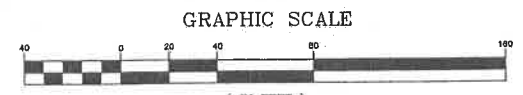
DRAWN BY: AWL
DESIGNED BY: AWL
CHECKED BY: BCM
APPROVED BY: BCM
DATE: JULY 2, 2018
SCALE: 1"=40'
PROJECT NO.: 217-169
DWG. TITLE:

PERMIT SET

Lot Layout Plan



ZONING REQUIREMENTS:			
ZONING DISTRICT: INDUSTRIAL			
REQUIRED SETBACK DISTANCES	REQUIRED	EXISTING	PROPOSED
FRONT YARD BUILDING SETBACK	20'	N/A	20'
SIDE YARD BUILDING SETBACK	25'	25'	25'
REAR YARD BUILDING SETBACK	40'	N/A	79.1'
MINIMUM LOT SIZE	44,000 SQ.FT.	283,151 SQ.FT.	252,180 SQ.FT.
MINIMUM LOT FRONTAGE	200' L.F.	104' L.F.	344.98' L.F.
MAXIMUM BUILDING COVERAGE	17.5%	0%	17.49%



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DATE OF ENDORSEMENT: _____

HANOVER PLANNING BOARD

REV APP

DESCRIPTION

DATE

REV

MCKENZIE ENGINEERING GROUP

Assinippi Office Park
160 Longwater Drive, Suite 101
Norwell, MA 02061
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DEFINITIVE SUBDIVISION PLAN

WINTER STREET

(ASSESSOR'S MAP 76, LOT 18)

WINTER STREET

HANOVER, MASSACHUSETTS

REGISTERED PROFESSIONAL ENGINEER:

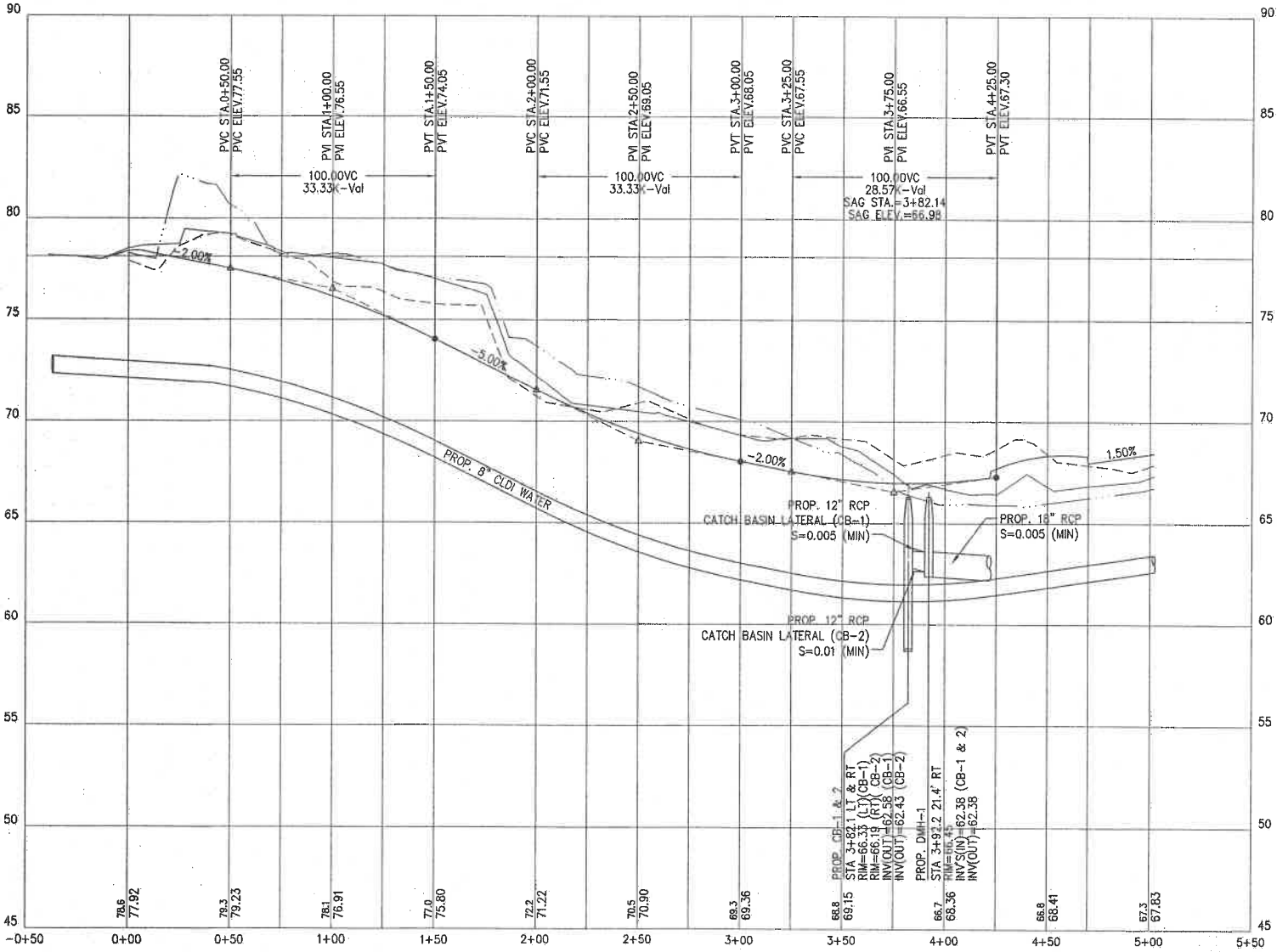
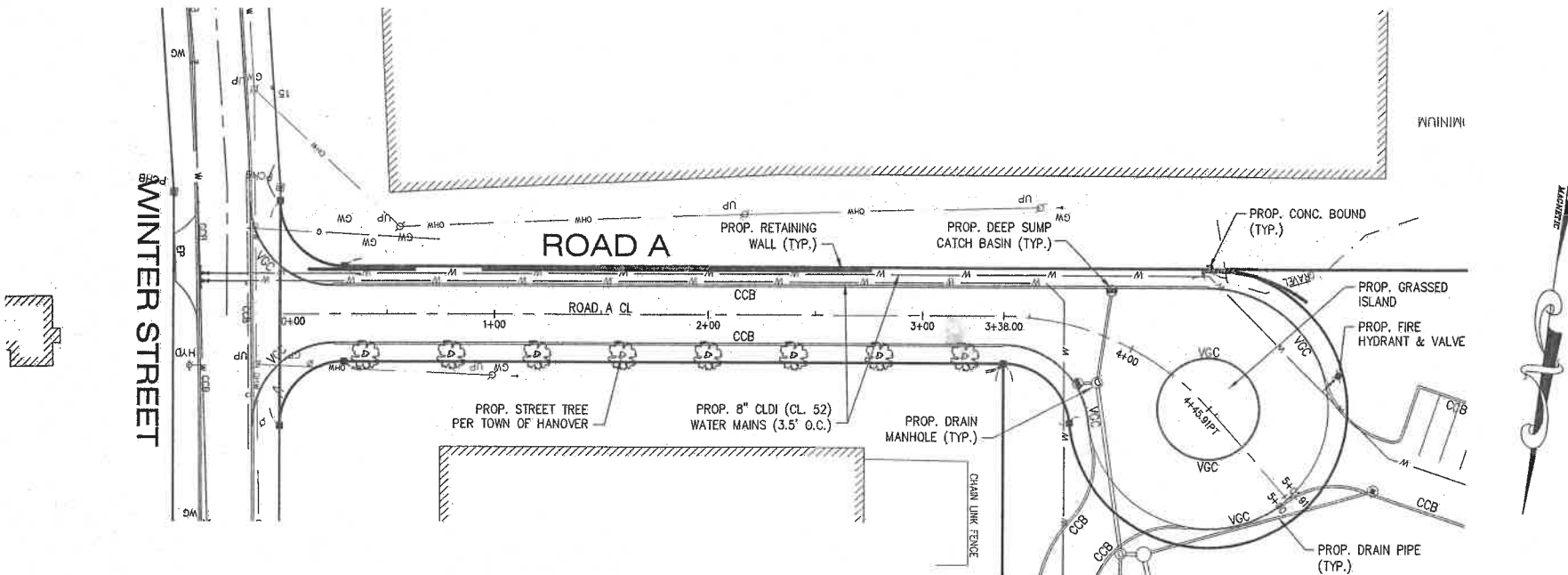
APPLICANT:

MCSHARRY BROS., INC.
7 LEAH DRIVE
ROCKLAND, MASSACHUSETTS 02370

DRAWN BY: AWL
DESIGNED BY: AWL
CHECKED BY: BCM
APPROVED BY: BCM
DATE: JULY 2, 2018
SCALE: 1"=40'
PROJECT NO.: 217-169
DWG. TITLE:

PERMIT SET

Site Plan



ROAD A PROFILE

VERTICAL: 1"=4'
HORIZONTAL: 1"=40'

GRAPHIC SCALE

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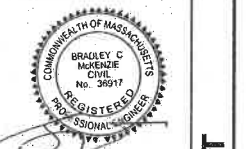
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DEFINITIVE SUBDIVISION PLAN
WINTER STREET
(ASSESSOR'S MAP 76, LOT 18)
WINTER STREET
HANOVER, MASSACHUSETTS

REGISTERED PROFESSIONAL ENGINEER:

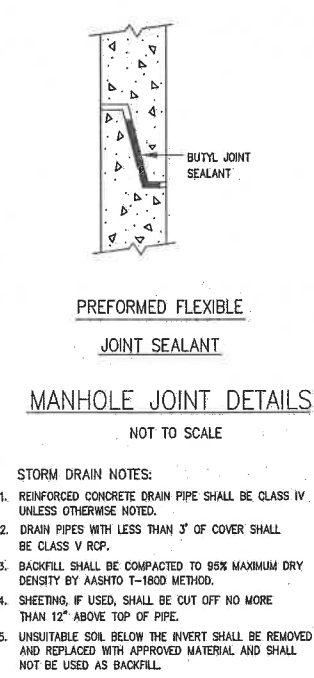
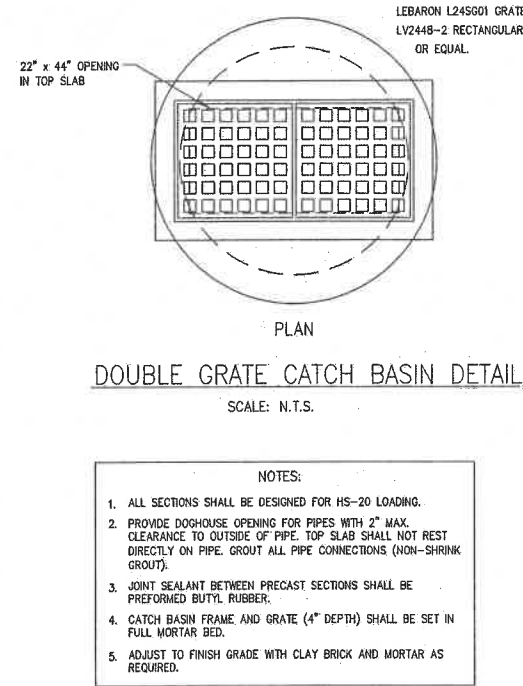
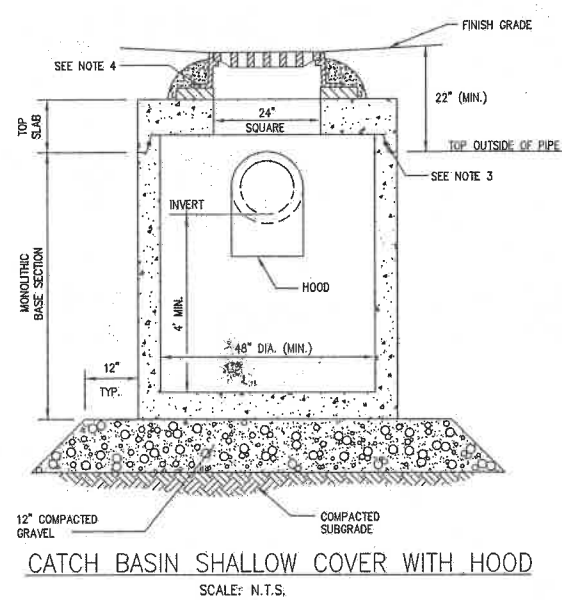
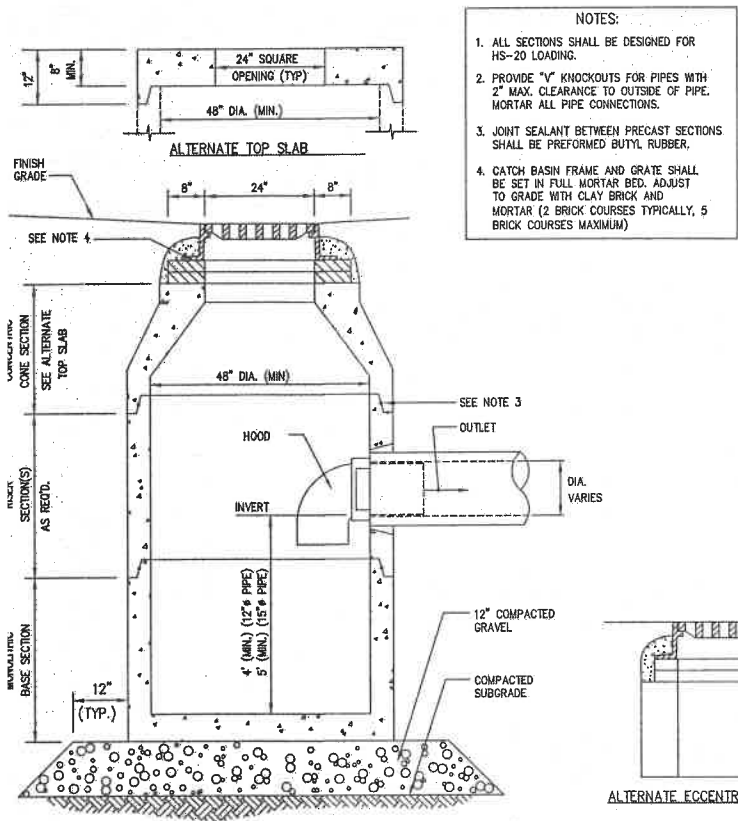


APPLICANT:
MCSHARRY BROS., INC.
7 LEAH DRIVE
ROCKLAND, MASSACHUSETTS 02370

DRAWN BY: AWL
DESIGNED BY: AWL
CHECKED BY: BCM
APPROVED BY: BCM
DATE: JULY 2, 2018
SCALE: 1"=40'
PROJECT NO.: 217-169
DWG. TITLE:

Roadway

PERMIT SET



FOR REGISTRY USE ONLY

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 2, 1976 AND REVISED JANUARY 12, 1988.

BRADLEY C. MCKENZIE, P.E. MCKENZIE ENGINEERING GROUP, INC.

DATE: _____ TOWN CLERK: _____

APPROVED: _____ SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY: _____ DATED: _____ AND TO BE RECORDED HEREWITH.

APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED

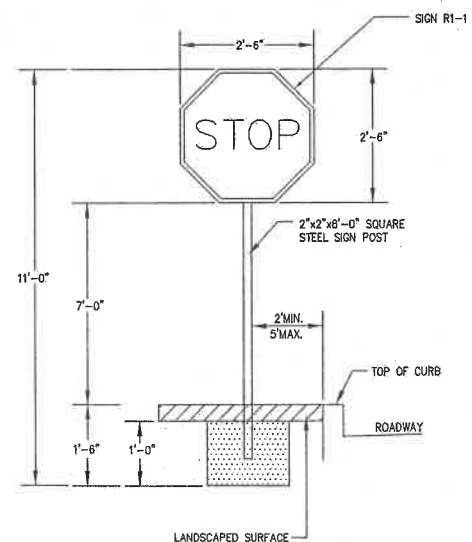
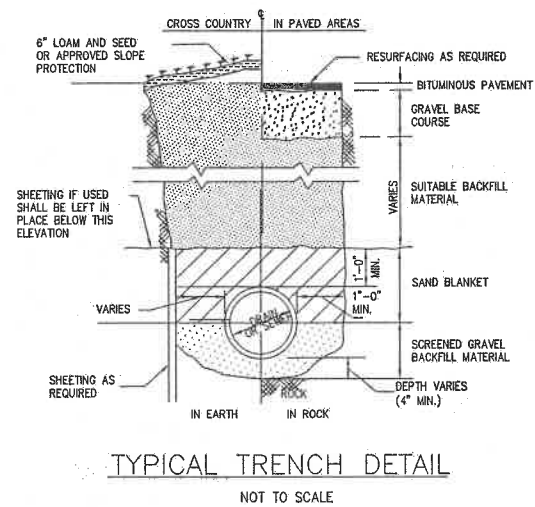
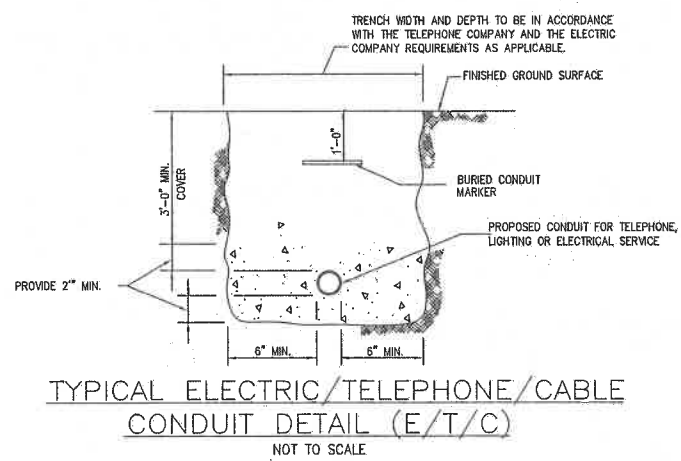
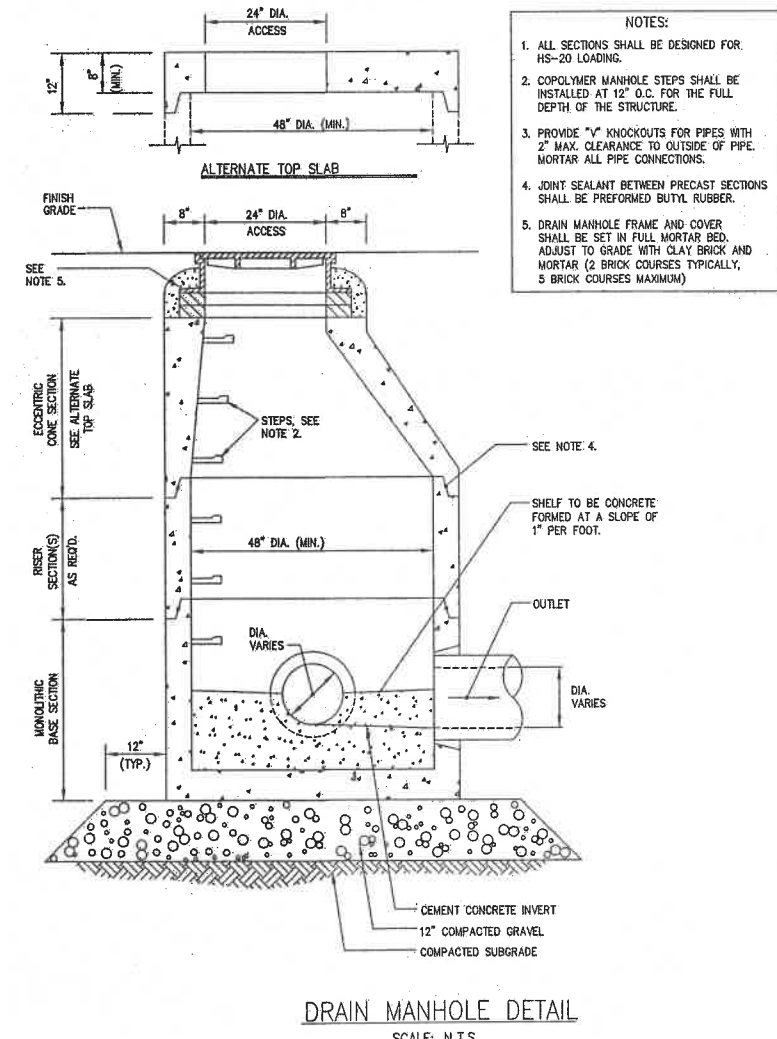
DATE OF APPLICATION: _____

DATE OF HEARING: _____

DATE OF APPROVAL: _____

DATE OF ENDORSEMENT: _____

HANOVER PLANNING BOARD



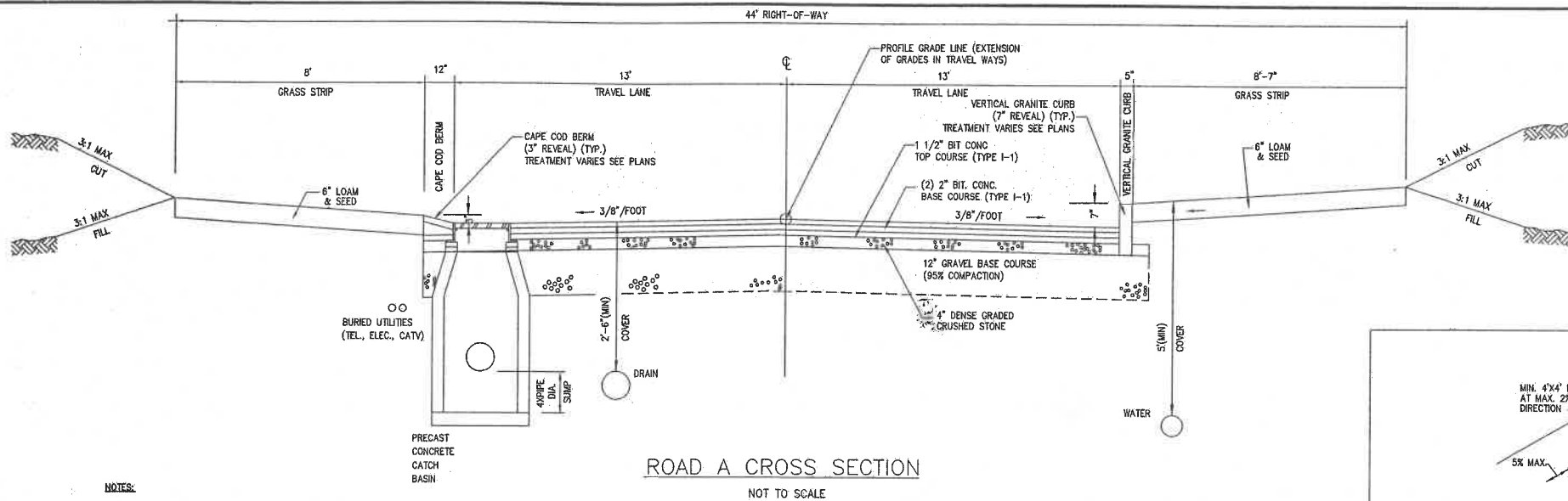
DEFINITIVE SUBDIVISION PLAN
WINTER STREET
(ASSESSOR'S MAP 76, LOT 18)
WINTER STREET
HANOVER, MASSACHUSETTS

PERMIT SET

REGISTERED PROFESSIONAL ENGINEER:
BRADLEY C. MCKENZIE
CIVIL
No. 38517
REGISTERED PROFESSIONAL ENGINEER

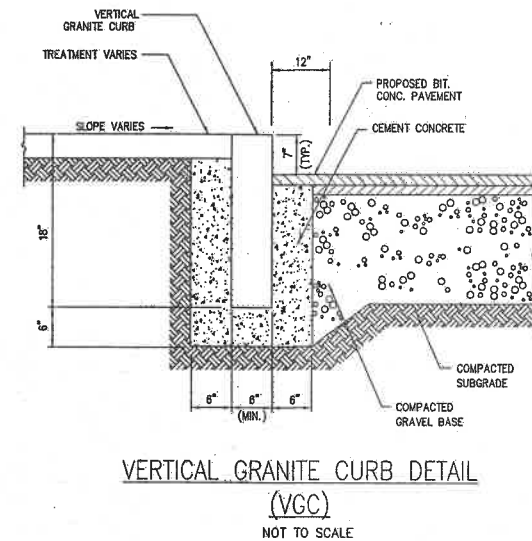
APPLICANT:
MCSHARRY BROS., INC.
7 LEAH DRIVE
ROCKLAND, MASSACHUSETTS 02370

DRAWN BY: _____
DESIGNED BY: _____
CHECKED BY: _____
APPROVED BY: _____
DATE: JULY 2, 2018
SCALE: AS NOTED
PROJECT NO.: 217-169
DWG. TITLE:



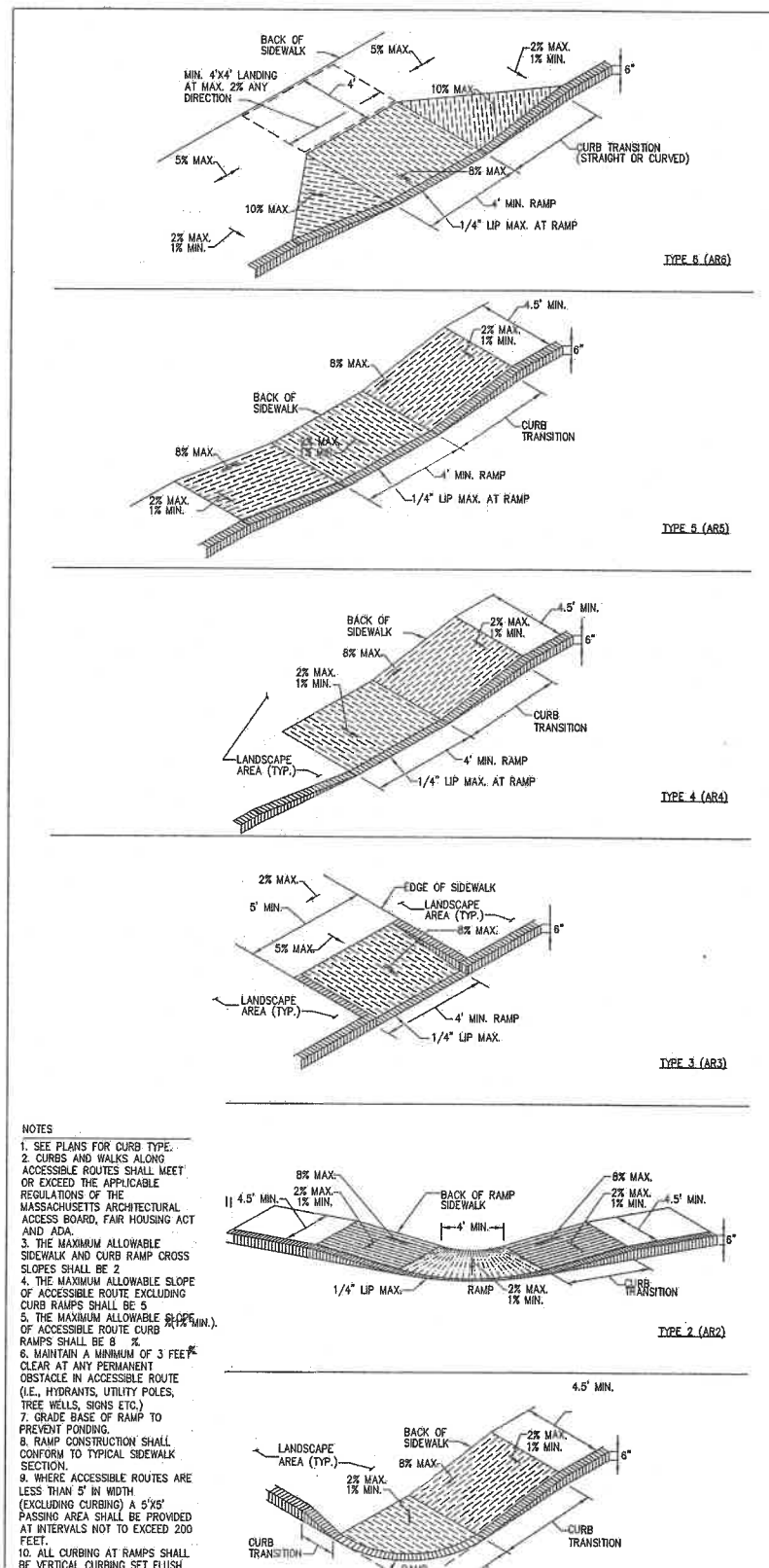
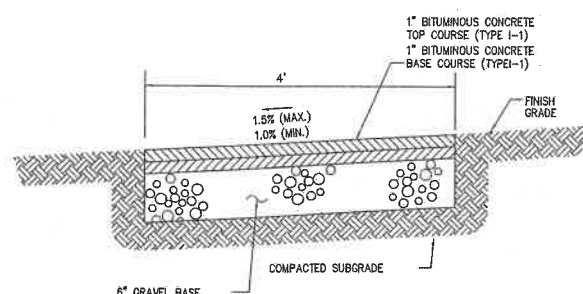
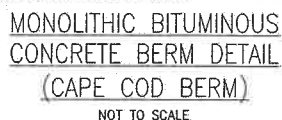
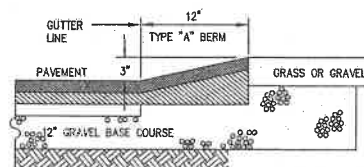
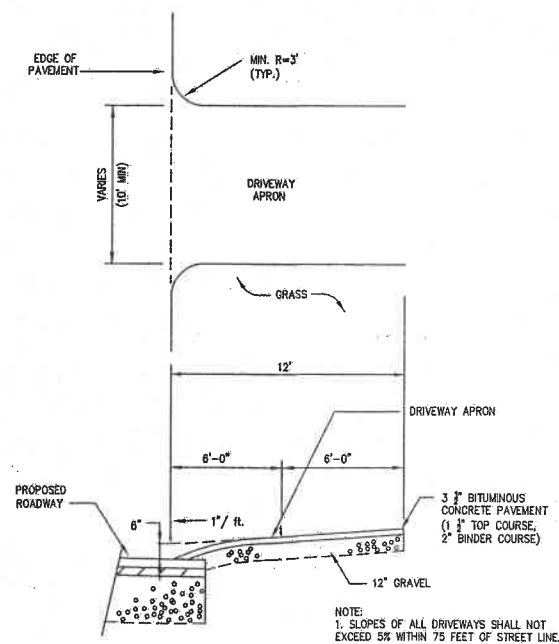
NOTES:

1. ALL MATERIALS SHALL CONFORM WITH MASS. HIGHWAY AND TOWN OF HANOVER SPECIFICATIONS. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN ACCORDANCE WITH MASS. HIGHWAY AND TOWN OF HANOVER SPECIFICATIONS (SECTION 4.11 OF TOWN OF HANOVER PLANNING BOARD RULES AND REGULATIONS).



GENERAL UTILITY NOTES

1. THE CONTRACTOR IS SPECIALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING AGENCIES AND ANY OTHER AGENCIES THAT MAY BE INVOLVED IN THE PROJECT TO REQUEST EXACT FIELD LOCATION, PERMITTING AUTHORITY, AND "DISGAGE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
3. THE CONTRACTOR SHALL EXCAVATE THE TEST PITS IN THE LOCATIONS SHOWN ON THE PLAN PRIOR TO COMMENCING WORK TO VERIFY THE ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH THE RESULTS PRIOR TO COMMENCING ANY WORK.
4. ALL WATER SERVICES SHALL BE INSTALLED WITH 6" OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.
5. DOMESTIC WATER SERVICES 2 INCHES AND SMALLER SHALL BE TYPE K' COPPER TUBING AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED CORPORATION STOP WITH APPROVED SADDLE, CURB STOP, GATE AND BOX.
6. FOR HANDOVER WATER DEPT. CONSTRUCTION DETAILS, NOTES, AND SPECIFICATIONS, SEE DETAIL SHEETS."



NOTES

1. SEE PLANS FOR CURB TYPE.
2. CURBS AND WALKS ALONG ACCESSIBLE ROUTES SHALL MEET THE REQUIREMENTS OF THE ACCESSIBLE ROUTE ACT AND THE REGULATIONS OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD, FAD HOUSING ACT
3. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1:12
4. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5:1
5. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 8:1
6. MAINTAIN A MINIMUM OF 3 FEET CLEARANCE AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (IE, HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
7. PROVIDE BASE OF RAMP TO PREVENT POINING
8. RAMP CONSTRUCTION SHALL CONFORM TO TYPICAL SIDEWALK CONSTRUCTION
9. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' X 5' MINIMUM AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
10. ALL CURBING AT RAMPS SHALL BE CURBING SET FLUSH

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BRADLEY C. MCKENZIE, P.E. MCKENZIE
ENGINEERING GROUP, INC.

I, _____, CLERK OF THE TOWN
OF HANOVER, HEREBY CERTIFY THAT THE NOTICE OF
APPROVAL OF THIS PLAN BY THE PLANNING BOARD
WAS RECEIVED ON _____ AND RECORDED AT
THIS OFFICE. NO NOTICE OF APPEAL WAS RECEIVED
DURING THE TWENTY DAYS NEXT FOLLOWING SUCH
RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____

APPROVED _____, SUBJECT TO COVENANT
CONDITIONS SET FORTH IN A COVENANT EXECUTED
BY _____, DATED _____,
AND TO BE RECORDED HEREWITH.

APPROVAL UNDER THE SUBMISSION CONTROL
LAW REQUIRED

DATE OF APPLICATION:

DATE OF HEARING:

DATE OF APPROVAL:

DATE OF ENDORSEMENT:

HANOVER PLANNING BOARD



MCKENZIE
ENGINEERING GROUP

Assinippi Office Park
150 Longwater Drive, Suite 101
Norwell, MA 02061
P: 781.792.3900
F: 781.792.0333
www.mckeng.com

DEFINITIVE SUBDIVISION PLAN
WINTER STREET
(ASSESSOR'S MAP 76, LOT 18)
WINTER STREET
HANOVER, MASSACHUSETTS

ASSESSOR'S MAP 76, LOT 18)

WINTER STREET
HANOVER, MASSACHUSETTS

REGISTERED PROFESSIONAL
ENGINEER:



APPLICANT:
MCSHARRY BROS., INC.
7 LEAH DRIVE
ROCKLAND, MASSACHUSETTS 02370

DRAWN BY:	AWL
DESIGNED BY:	AWL
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	JULY 2 2018
SCALE:	AS NOTED
PROJECT NO.:	217-169
DWG. TITLE:	

PERMIT SET

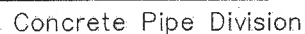


- DIKE SECTION NOTES:

- SCALE: N.T.S.



SCALE: N.T.S.



Concrete Pipe Division

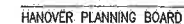
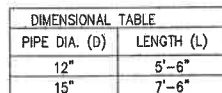
Plan View



PLAN

FRONT ELEVATION

SCALE: N.T.S.



FOR REGISTRY USE ONLY

BRADLEY C. MCKENZIE, P.E. MCKENZIE
ENGINEERING GROUP, INC.

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McKENZIE
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Assinippi Office Park
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Norwell, MA 02061
P: 781.792.3900
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DEFINITIVE SUBDIVISION PLAN

WINTER STREET

ASSESSOR'S MAP 76, LOT 18)

WINIFRED STREET
HANOVER, MASSACHUSETTS

REGISTERED PROFESSIONAL
ENGINEER:



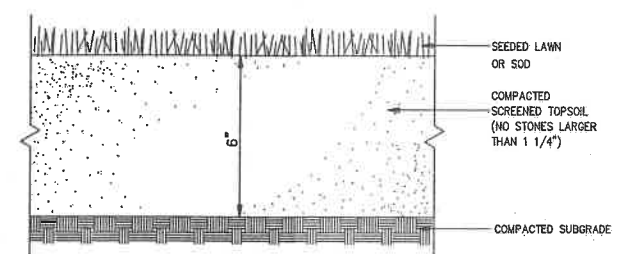
APPLICANT: **MCSHARRY BROS., INC.**
7 LEAH DRIVE
ROCKLAND, MASSACHUSETTS 02370

DRAWN BY:	AWL
DESIGNED BY:	AWL
CHECKED BY:	BCM
APPROVED BY:	BCM
DATE:	JULY 2, 2018
SCALE:	AS NOTED
PROJECT NO.:	217-169
DWG. TITLE:	

Construction Details

PERMIT SET

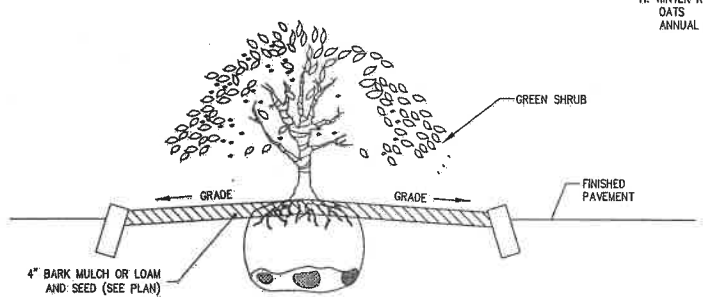
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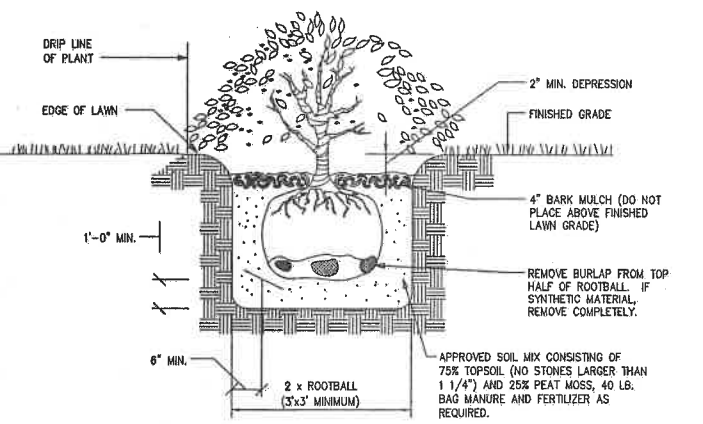
NOTES:
 1. TOP OF LOAM (TOPSOIL) IS FINISHED GRADE.
 2. TOPSOIL SHALL CONTAIN BETWEEN 5% AND 12% ORGANIC MATTER AND SHALL HAVE A MAXIMUM STONE SIZE OF 1 1/4\"/>

SIEVE	% PASSING
1 1/4 INCH	100
No. 40	85-100
No. 100	38-50
No. 200	28-40

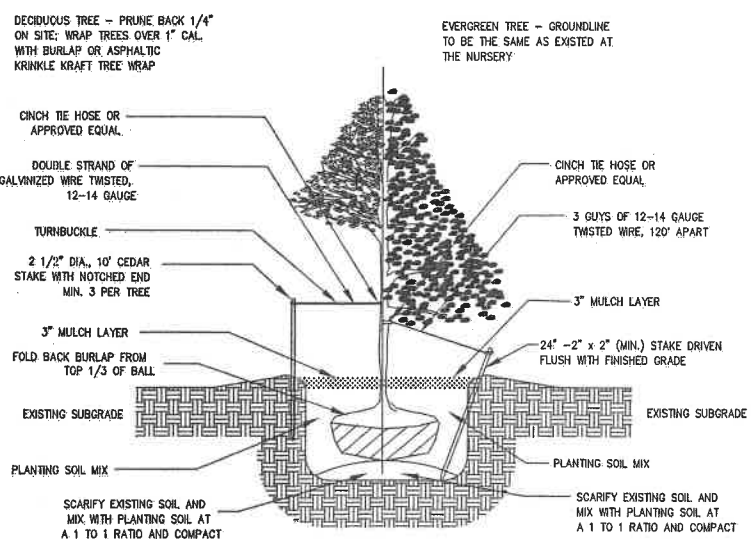
SEED OR SODDED LAWN DETAIL



TYPICAL ISLAND GRADING TREATMENT DETAIL



TYPICAL SHRUB PLANTING DETAIL

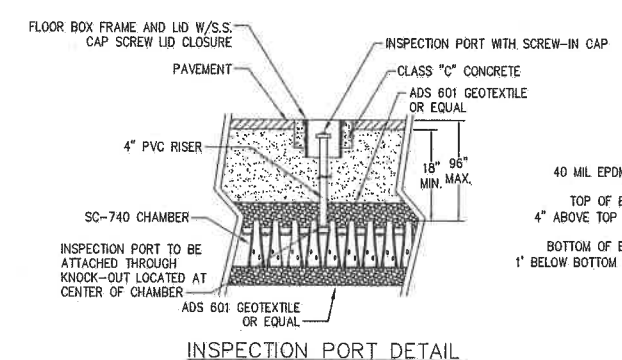
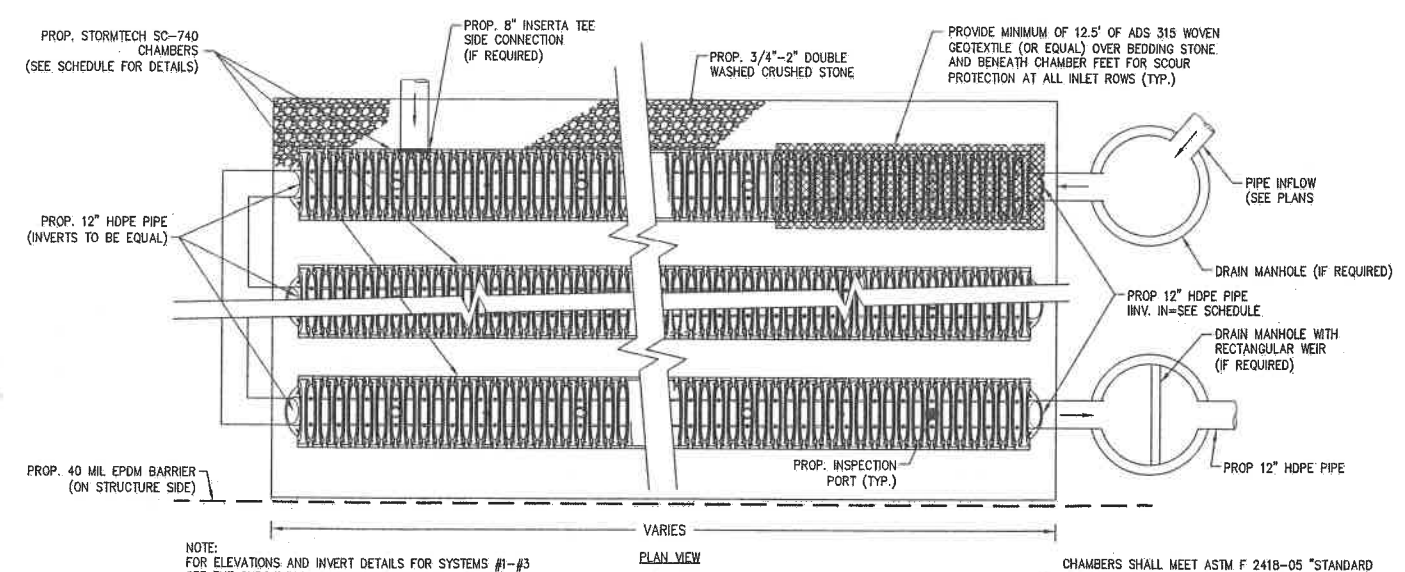


SEEDING RATES

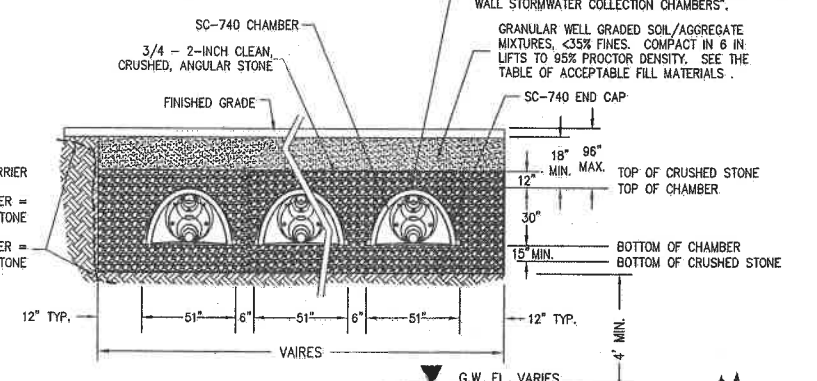
	POUND / ACRE	POUNDS / 1,000 S.F.
A. TALL FESCUE	30	0.45
CREeping RED FESCUE	20	0.45
REDTOP	2	0.05
TOTAL	42	0.95
B. TALL FESCUE	15	0.35
CREeping RED FESCUE	10	0.25
BIRDFOOT TREFOIL	15	0.35
TOTAL	40	0.95
C. TALL FESCUE	20	0.45
CREeping RED FESCUE	20	0.45
BIRDFOOT TREFOIL	8	0.20
TOTAL	48	1.10
D. BIRDFOOT TREFOIL	10	0.25
REDTOP	5	0.10
REED CANSTYGRASS	15	0.35
TOTAL	30	0.70
E. TALL FESCUE	20	0.45
FLATPEA	30	0.75
TOTAL	50	1.20
F. CREeping RED FESCUE 1/	50	1.15
KENTUCKY BLUEGRASS 1/	50	1.15
TOTAL	100	2.30
G. TALL FESCUE 1/	150	3.60

TEMPORARY SEEDING RATES

H. WINTER RYE	112	(AUG 15 TO SEPT. 5)	2.50
OATS	80	(BEFORE MAY 15)	2.00
ANNUAL RYEGRASS	40	(AUG 15 TO SEPT. 15)	1.00

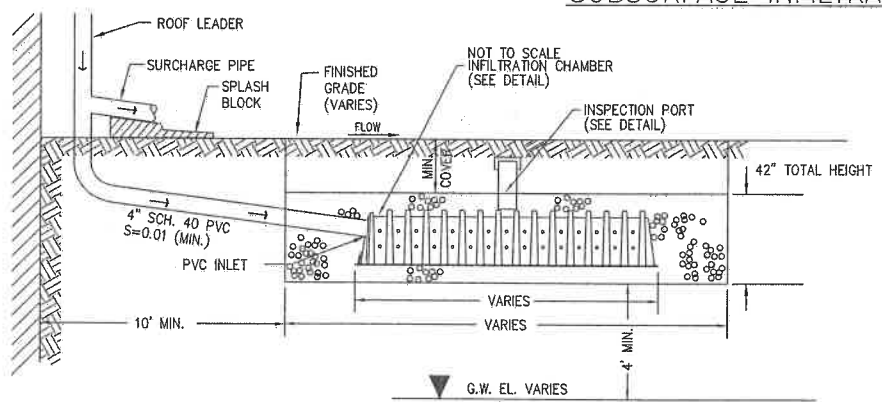


INSPECTION PORT DETAIL



TYPICAL SECTION

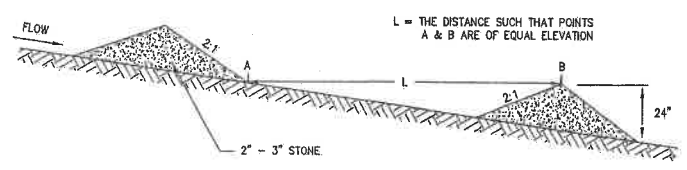
SUBSURFACE INFILTRATION SYSTEM



SUBSURFACE INFILTRATION WITH SURCHARGE

NOT TO SCALE

SUBSURFACE INFILTRATION SCHEDULE									
SYSTEM #	CHAMBER TYPE	INV. IN	INV. OUT	BOTTOM OF STONE	BOTTOM OF CHAMBER	TOP OF CHAMBER	TOP OF STONE	FINISHED GRADE	EPDM BARRIER
#1	SC-740 W/DMH WEIR OUTLET	58.75	69.00	58.00	58.50	61.00	61.50	62.5-69	NO
#2	SC-740 W/SURCHARGE OUTLET	62.25	70.00	63.00	63.50	66.00	66.50	69-72	YES
#3	SC-740 W/SURCHARGE OUTLET	60.25	69.00	58.00	58.50	61.00	61.50	63-69	YES



TYPICAL STONE CHECK DAM DETAIL

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BRADLEY C. MCKENZIE, P.E. MCKENZIE ENGINEERING GROUP, INC.

CLERK OF THE TOWN OF HANOVER, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD WAS RECEIVED ON _____ AND RECORDED AT THIS OFFICE. NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT FOLLOWING SUCH RECEIPT AND RECORDING OF SAID NOTICE.

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APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED

DATE OF APPLICATION: _____

DATE OF HEARING: _____

DATE OF APPROVAL: _____

DATE OF ENDORSEMENT: _____

HANOVER PLANNING BOARD

REV	DATE	DESCRIPTION	BY	APP

MCKENZIE ENGINEERING GROUP

Assinippi Office Park
 150 Longwater Drive, Suite 101
 Norwell, MA 02061
 P: 781.792.2600
 F: 781.792.2633
 www.mckeng.com

DEFINITIVE SUBDIVISION PLAN
WINTER STREET
 (ASSESSOR'S MAP 76, LOT 18)
WINTER STREET
HANOVER, MASSACHUSETTS

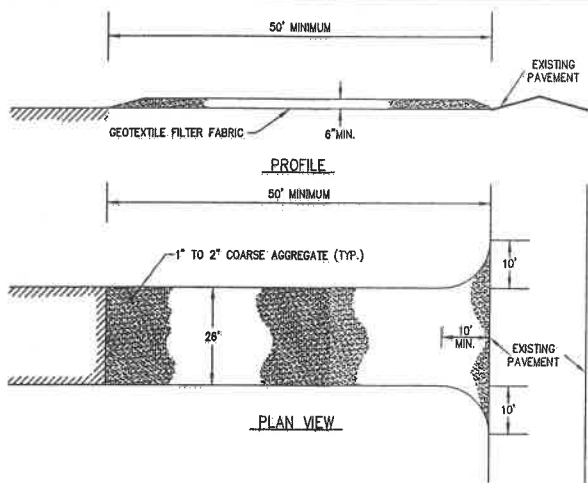
REGISTERED PROFESSIONAL ENGINEER:

BRADLEY C. MCKENZIE
 CIVIL
 No. 30517
 REGISTERED PROFESSIONAL ENGINEER

APPLICANT:
MC SHARRY BROS., INC.
 7 LEAH DRIVE
 ROCKLAND, MASSACHUSETTS 02370

DRAWN BY: AWL
 DESIGNED BY: AWL
 CHECKED BY: BCM
 APPROVED BY: BCM
 DATE: JULY 2, 2018
 SCALE: AS NOTED
 PROJECT NO.: 217-169
 DWG. TITLE: Construction

PERMIT SET

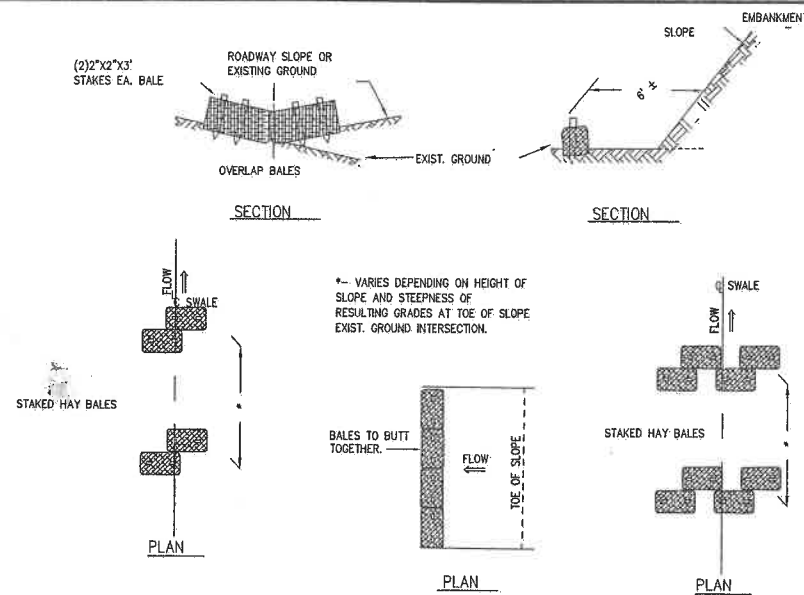


STABILIZED CONSTRUCTION ENTRANCE DETAIL

NOT TO SCALE

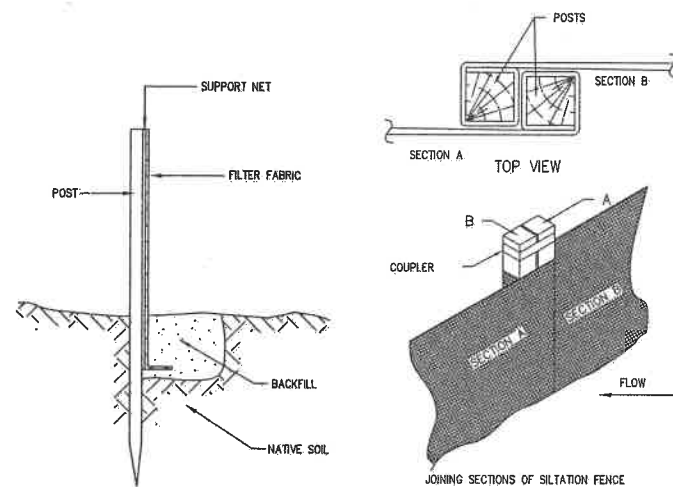
CONSTRUCTION SPECIFICATIONS:

1. STONE FOR A STABILIZATION CONSTRUCTION ENTRANCE SHALL BE 1 TO 2 INCH STONE, RECLAIMED STONE.
2. THE LENGTH OF THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 50 FEET, EXCEPT FOR A SINGLE RESIDENTIAL LOT A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THE THICKNESS OF THE STONE FOR THE STABILIZED ENTRANCE SHALL NOT BE LESS THAN 6 INCHES.
4. THE WIDTH OF THE ENTRANCE SHALL NOT BE LESS THAN A FULL WIDTH OF THE ENTRANCE WHERE INGRESS OR EGRESS OCCURS OR 10 FEET, WHICH EVER IS GREATER.
5. GEOTEXTILE FILTER CLOTH SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING THE STONE.
6. ALL SURFACE WATER THAT IS FLOWING TO OR DEVERTED TOWARDS THE CONSTRUCTION ENTRANCE SHALL BE PIPED BENEATH THE ENTRANCE, IF PIPING IS IMPRACTICAL, A BERM SUBSTITUTED FOR THE PIPE.
7. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WITH 3:1 SLOPES THAT CAN BE CROSSED BY VEHICLES MAY BE CLEAROUT OF ANY MEASURES USED TO TRAP SEDIMENT, ALL WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC SEDIMENT SPILLED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY, THIS MAY REQUIRE PERIODIC TOPDRESSING WITH OF-WAY MUST BE REMOVED PROMPTLY.



TEMPORARY EROSION CONTROL

NOT TO SCALE



SILTATION FENCE

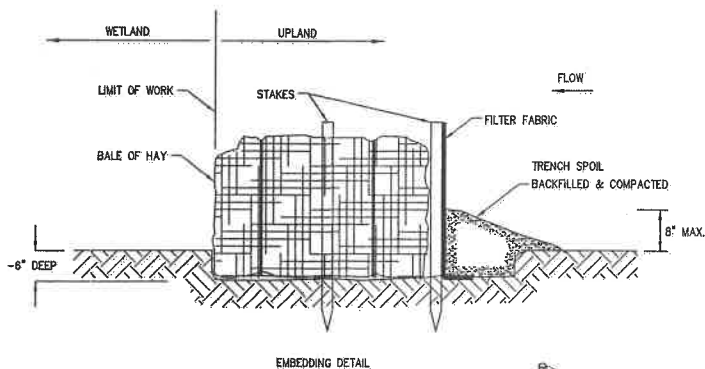
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CONSTRUCTION NOTES:

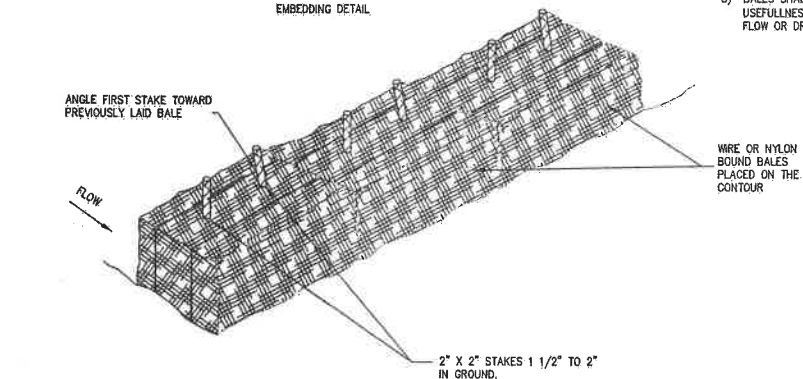
- 1) WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
- 2) FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24\"/>

NOTES:

1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
2. GRATE TO BE PLACED OVER SILTSACK.
3. SILTSACK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

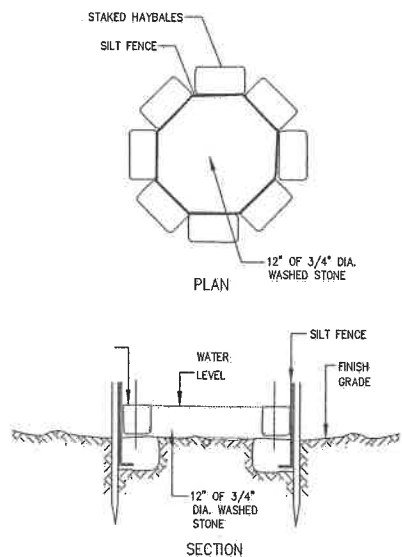


EMBEDDING DETAIL



EROSION AND SEDIMENTATION CONTROL

REFER TO CONSTRUCTION PHASE BEST MANAGEMENT PRACTICES AS SPECIFIED IN "BEST MANAGEMENT PRACTICES OPERATION AND MAINTENANCE PLAN" PREPARED BY MEG, DATED JUNE 3, 2014 AS REVISED AND APPROVED FOR STRUCTURAL, STABILIZATION AND DUST CONTROL EROSION AND SEDIMENTATION CONTROL MEASURES. STRUCTURAL PRACTICES UTILIZED FOR THE PROJECT WILL INCLUDE SEDIMENT FENCE/HAYBALE BARRIER CONTROLS, STABILIZED CONSTRUCTION ENTRANCE, TEMPORARY DIVERSION SWALES WITH STONE CHECK DAMS, SEDIMENT BASINS, AND INLET PROTECTION.



DEWATERING FILTER DETAIL

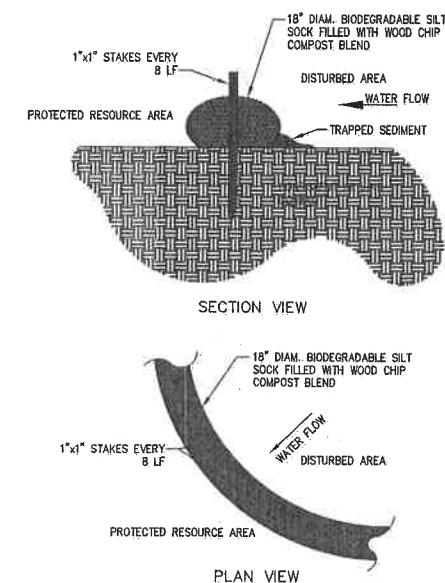
NOT TO SCALE

DEWATERING METHODS SHALL BE EMPLOYED IN ANY AREA WHERE PUMPING OF GROUNDWATER IS NECESSARY TO CONSTRUCT THE PROPOSED DRIVEWAY AND UTILITIES. DETAILS SHOWN ON THIS PLAN SHALL BE USED AND ANY MODIFICATION SHALL BE APPROVED BY THE CONSERVATION COMMISSION.

CONSTRUCTION SEQUENCE

TO PREVENT EXCESSIVE EROSION AND SILTING, THE FOLLOWING CONSTRUCTION SEQUENCE COUPLED WITH OTHER WIDELY ACCEPTED PRINCIPALS FOR REDUCING EROSION AND SEDIMENTATION SHALL BE IMPLEMENTED IN THE DEVELOPMENT OF THE SITE.

- 1) STABILIZATION PRACTICES FOR EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. REFER TO "EROSION AND SEDIMENTATION CONTROL" SECTION OF THIS PLAN.
PLACE EROSION CONTROL BARRIERS AT LOCATIONS INDICATED ON THE CONSTRUCTION DRAWINGS AND CONSTRUCT STABILIZED CONSTRUCTION ENTRANCES AT KING STREET WITH ASSOCIATED SEDIMENT BASINS.
- 2) CLEAR AND GRUB ALL AREAS ASSOCIATED WITH THE CONSTRUCTION OF THE ROADWAY AND RELATED INFRASTRUCTURE.
- 3) EXCAVATE TOPSOIL AND SUBSOIL FROM CUT AND FILL AREAS AND STOCKPILE ON SITE IN LOCATIONS SHOWN ON THE PLAN. CONSIDERATION SHOULD BE GIVEN TO LOCATING STOCKPILES ON THE UPHILL SIDE OF DISTURBED AREAS, WHERE POSSIBLE, TO ACT AS TEMPORARY DIVERSIONS.
- 4) CONSTRUCT CUT AND FILL AREAS, INSTALLING HAYBALE CHECK DAMS AT TOES OF ALL 3:1 OR GREATER SLOPES, AND AT ENDS OF ALL CUT AREAS. ALL FILL WILL BE INSTALLED USING 12\"/>
- 5) CONSTRUCT TEMPORARY DIVERSION SWALES W/ STONE CHECK DAMS ALONG SIDE THE PROPOSED ROADWAYS UNTIL THEY ARE PAVED. THE TEMPORARY DIVERSION SWALES WILL ROUTE STORMWATER TO TEMPORARY SEDIMENT BASINS.
- 6) INSTALL CLOSED DRAINAGE SYSTEM AND OTHER UTILITIES. THE STORMWATER DETENTION BASINS SHALL BE CONSTRUCTED AS SOON AS PRACTICABLE AFTER THE PROPOSED LOCATIONS HAVE BEEN CLEARED OF VEGETATION. ALL CATCH BASINS SHALL BE COVERED WITH SILTSACK OR EQUIVALENT INLET PROTECTION.
- 7) GRADE ROADWAY TO SUBGRADE ELEVATION AND CONSTRUCT SIDE SLOPES. APPLY TEMPORARY STABILIZATION MEASURES WHERE WARRANTED. REFER TO "EROSION AND SEDIMENT CONTROL" SECTION OF THIS PLAN.
- 8) PLACE GRAVEL SUBBASE PER TOWN SPECIFICATIONS.
- 9) PLACE THE BITUMINOUS CONCRETE BINDER COURSE ON ROADWAYS AND DRIVEWAYS.
- 10) GRADE SLOPES AND STABILIZE CUT AREAS AT TOE OF SLOPES.

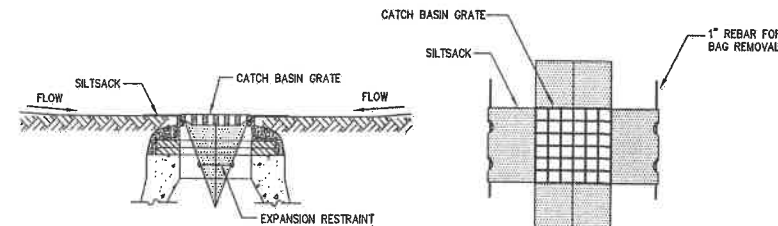


SILT SOCK EROSION CONTROL BARRIER DETAIL

NOT TO SCALE

CONSTRUCTION NOTES:

- 1) SILT SOCKS SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING OR LAPPING THE ADJACENT SECTIONS.
- 2) SILT SOCKS SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BARS DRIVEN EVERY 8 LF.
- 3) INSPECTION SHALL BE FREQUENT, AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS REQUIRED.
- 4) SILT SOCKS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS, SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.



FOR REGISTRY USE ONLY

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS DATED JANUARY 2, 1976 AND REVISED JANUARY 12, 1988.

BRADLEY C. MCKENZIE, P.E. MCKENZIE ENGINEERING GROUP, INC.

I, _____ CLERK OF THE TOWN OF HANOVER, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE PLANNING BOARD WAS RECEIVED ON _____ AND RECORDED AT THIS OFFICE. NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT FOLLOWING SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE _____ TOWN CLERK _____
APPROVED _____, SUBJECT TO COVENANT CONDITIONS SET FORTH IN A COVENANT EXECUTED BY _____, DATED _____ AND TO BE RECORDED HEREWITH.

APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED

DATE OF APPLICATION: _____

DATE OF HEARING: _____

DATE OF APPROVAL: _____

DATE OF ENDORSEMENT: _____

HANOVER PLANNING BOARD

REV	DATE	DESCRIPTION	BY	APP

MEG
MCKENZIE
ENGINEERING GROUP
Assinippi Office Park
150 Longwater Drive, Suite 101
Norwell, MA 02061
P: 781.792.3800
F: 781.792.0353
www.mckeng.com

DEFINITIVE SUBDIVISION PLAN
WINTER STREET
(ASSESSOR'S MAP 76, LOT 18)
WINTER STREET
HANOVER, MASSACHUSETTS

REGISTERED PROFESSIONAL ENGINEER:



APPLICANT:
MC SHARRY BROS., INC.
7 LEAH DRIVE
ROCKLAND, MASSACHUSETTS 02370

DRAWN BY: _____
DESIGNED BY: _____
CHECKED BY: _____
APPROVED BY: _____
DATE: JULY 2, 2018
SCALE: AS NOTED
PROJECT NO.: 217-169
DWG. TITLE: _____

Erosion

PERMIT SET