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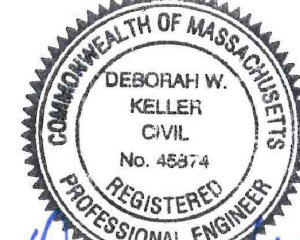
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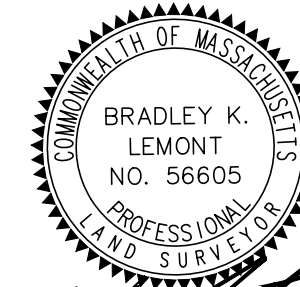
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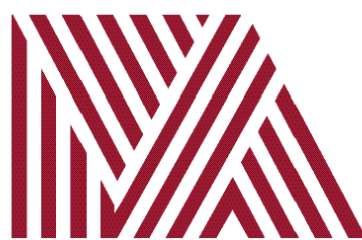
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Merrill
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448 N. Falmouth Highway
North Falmouth, MA 02556
508-563-2183

Marine Division:
26 Union Street
Plymouth, MA 02360
508-746-6060

PROJECT #:

22-188

PROJECT:

**DEFINITIVE
SITE PLAN**

2053, 2055, 2057 & 2103
WASHINGTON STREET
HANOVER, MASSACHUSETTS

CLIENT:

2103 WASHINGTON ST LLC
552 ADAMS STREET
MILTON, MA 02186
(781) 982-1144

DRAWING PATH:

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DATE:

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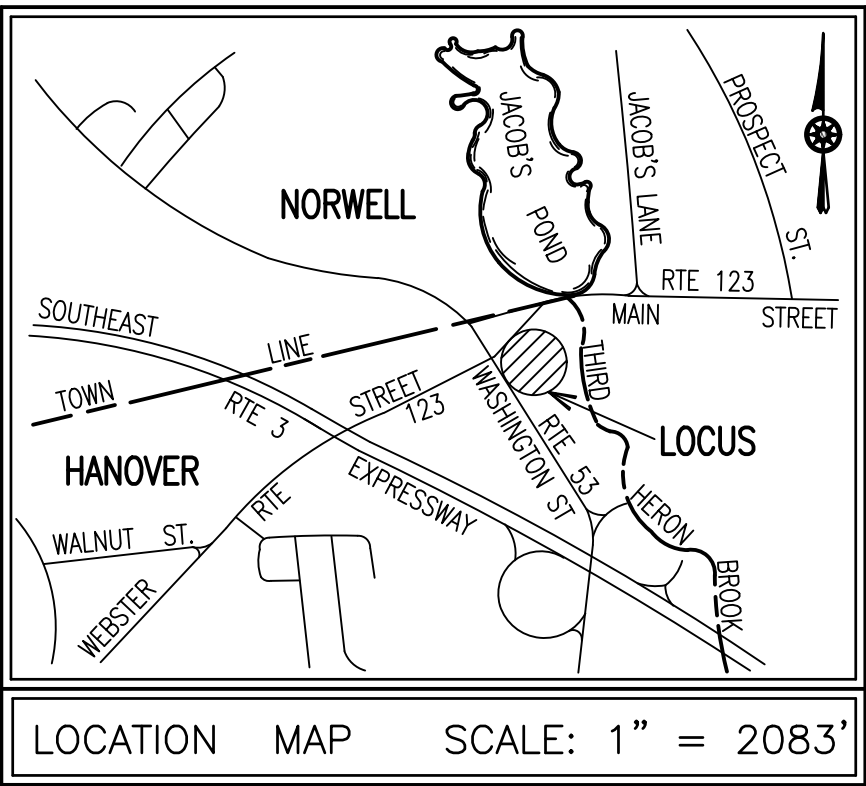
COVER AND INDEX

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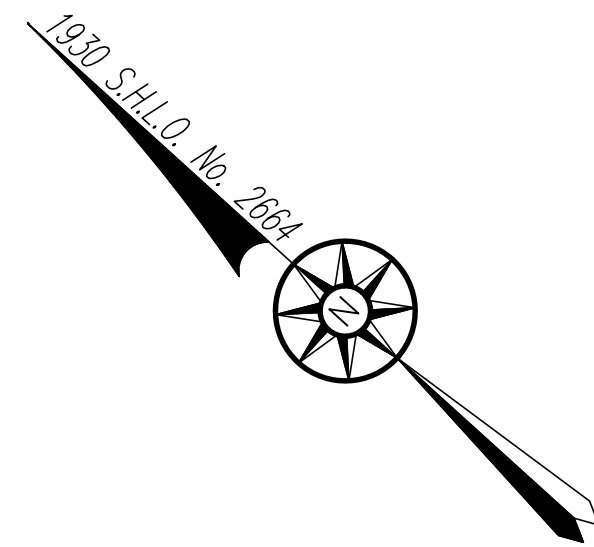
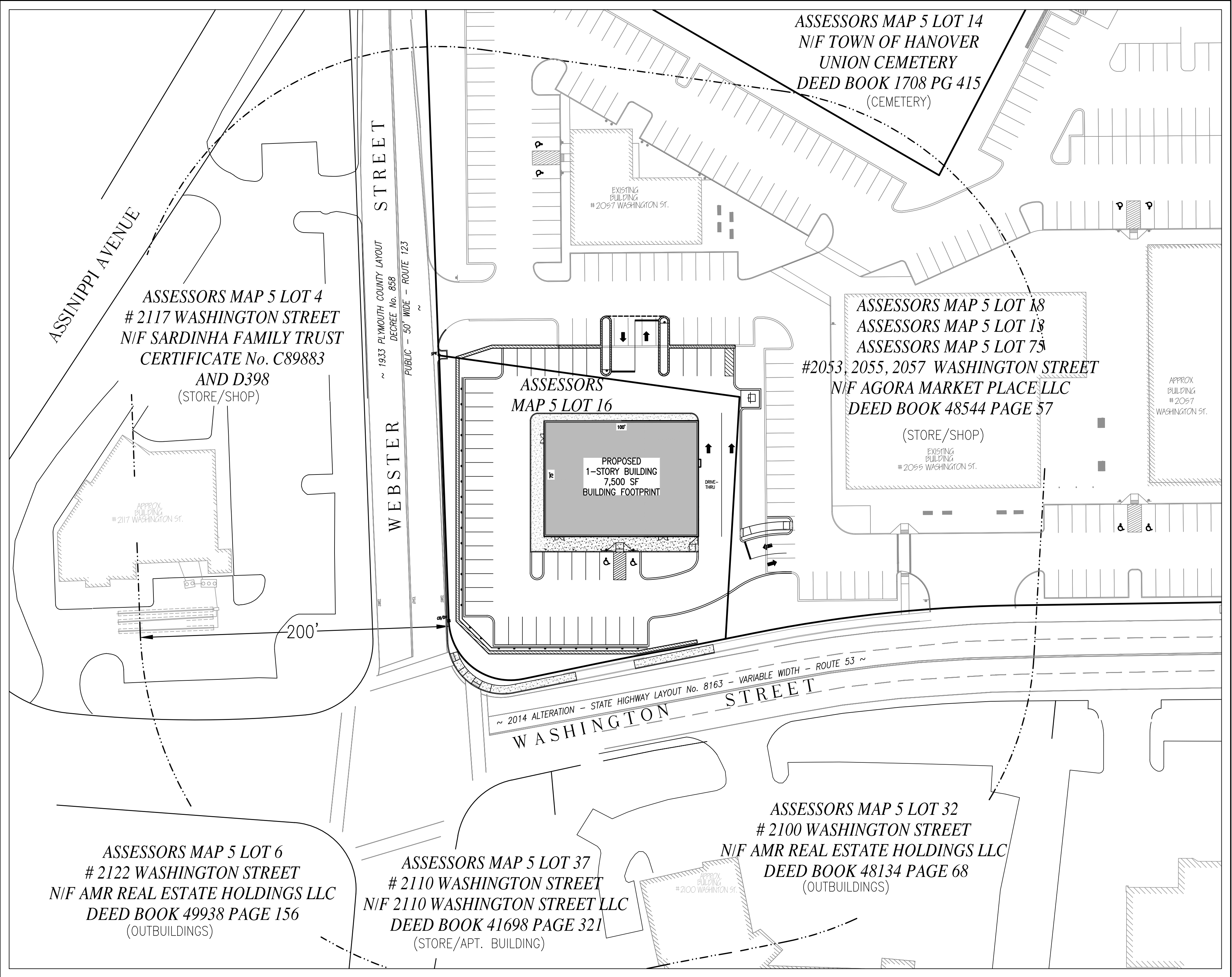
MERCHANT'S ROW DEFINITIVE SITE PLAN

2053, 2055, 2057 & 2103 WASHINGTON STREET
(ASSESSORS MAP 5 - LOTS 13, 16, 18, 75)
HANOVER, MASSACHUSETTS
OCTOBER 16, 2023



LOCATION MAP SCALE: 1" = 2083'

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C9.3	CONSTRUCTION DETAILS



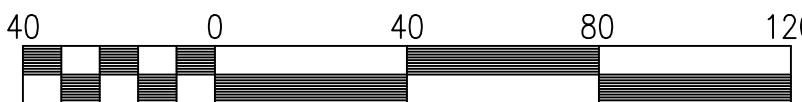
OWNER/APPLICANT:
2103 WASHINGTON STREET LLC
552 ADAMS STREET
MILTON, MA 02186

AGORA MARKETPLACE, LLC
100 LEDGEWOOD PLACE, SUITE 301
ROCKLAND, MA 02370
P: 781-982-1144

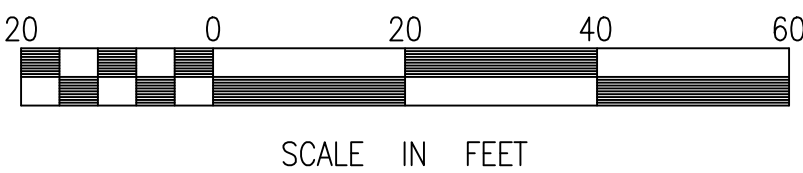
CIVIL ENGINEER/SURVEYOR:
MERRILL ENGINEERS AND LAND SURVEYORS
427 COLUMBIA ROAD
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P: 781-826-9200

ARCHITECT:
STUDIO TROKA
15 CHANNEL CENTER STREET, SUITE 104
BOSTON, MA 02210
P: 857-991-1021

VICINITY MAP



SCALE IN FEET



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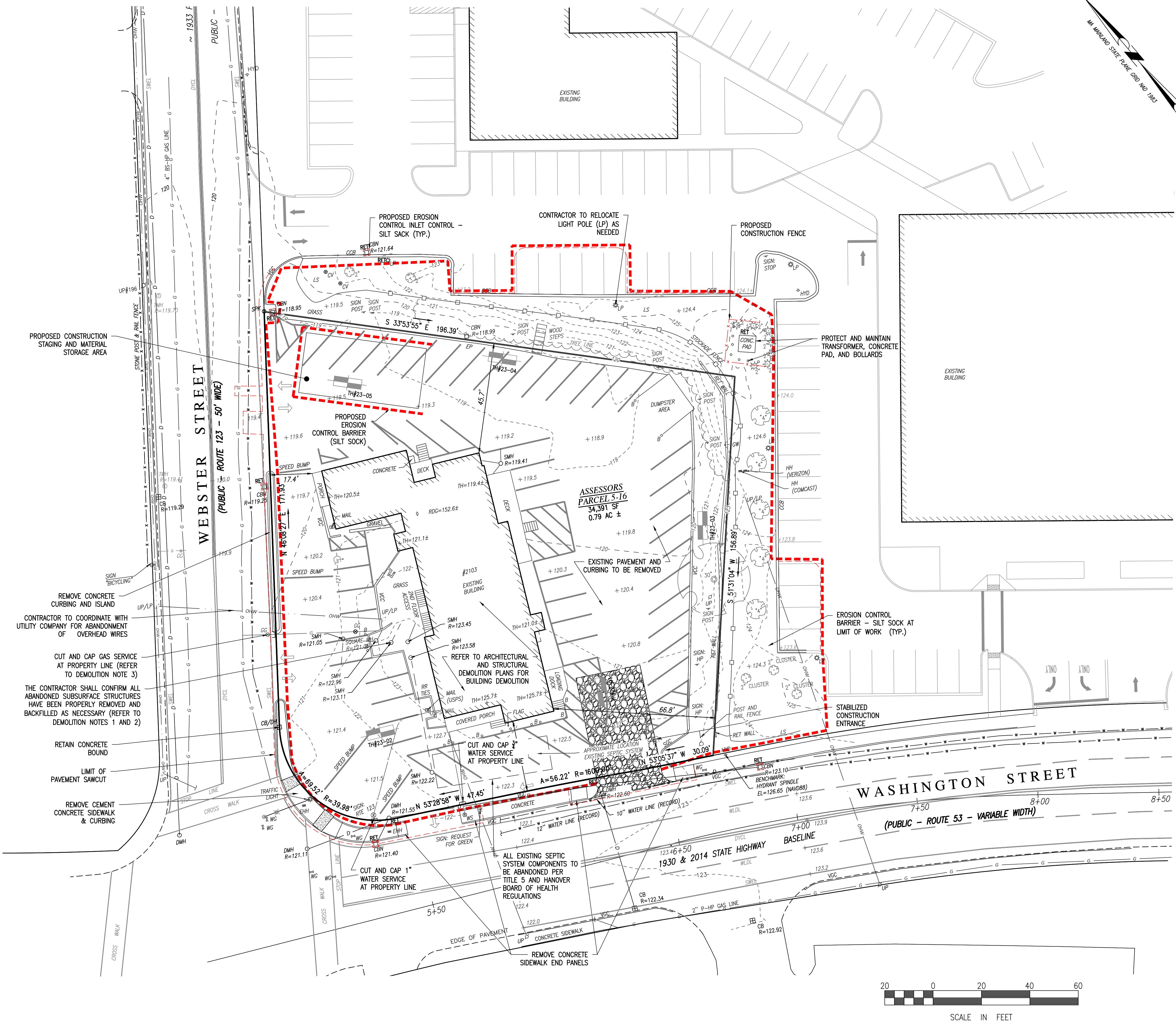
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DEMOLITION NOTES:

1. ALL MANMADE FEATURES TO BE DEMOLISHED AND REMOVED WITHIN THE SITE IN THEIR ENTIRETY UNLESS OTHERWISE NOTED. EXISTING FEATURES TO INCLUDE BUT NOT LIMITED TO UNDERGROUND DRAINAGE STRUCTURES, ABANDONED SEPTIC SYSTEMS COMPONENTS, FENCING, ALL DISCARDED RUBBISH AND/OR TRASH AROUND THE PROPERTY, CURBING, PLANTERS, ASPHALT, SIGNAGE, BOLLARDS, CONCRETE SLABS, AND LIGHTING. ALL DEBRIS TO BE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.
2. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION ACTIVITIES WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDER TAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY, GRADE THE SURFACE TO MEET ADJACENT CONTOURS.
3. ALL GAS CUT AND CAP WORK TO BE PERFORMED BY THE GAS COMPANY. ALL EXCAVATION, REMOVAL AND BACKFILLING OF GAS SERVICE LINES ON SITE SHALL BE PERFORMED BY THE CONTRACTOR.
4. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. ALL CONSTRUCTION ACTIVITY SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
5. ALL WORK PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL LOCAL MUNICIPAL STANDARDS. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH STREETS, WALKS AND OTHER ADJACENT FACILITIES.
6. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. ALL REPAIRS SHALL BE MADE AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR IS TO CONTACT "DIG-SAFE" 72 HOURS PRIOR TO ANY EXCAVATION AT 1-888-344-7233.
7. ALL DOMESTIC WATER AND FIRE PROTECTION SERVICES MUST BE CUT AND CAPPED AT THE PROPERTY LINE. GATE VALVE, FRAME AND COVER AND ALL APPURTENANCES MUST BE REMOVED IN ACCORDANCE WITH THE TOWN WATER DEPARTMENT SPECIFICATIONS AND STANDARD DETAILS.

EROSION AND SEDIMENTATION CONTROL NOTES:

1. THE CONTRACTOR SHALL COORDINATE A PRE CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY WITH THE DEVELOPER, TOWN PLANNER, AND ANY INTERESTED TOWN DEPARTMENT REPRESENTATIVES.
2. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO EARTHWORK OPERATION AND MAINTAIN ALL EROSION MEASURES DURING CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE REMOVED ONLY UPON THE ESTABLISHMENT OF ALL LANDSCAPED AREAS AND FINAL PAVEMENT IS INSTALLED.
3. IF EXISTING DRAINAGE STRUCTURES ARE TO BE USED DURING CONSTRUCTION, SILT SACKS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF WORK.
4. STEEP SLOPES, WHERE POSSIBLE, WILL NOT BE DISTURBED.
5. NATURAL WATERWAYS WILL BE PRESERVED AND PROTECTED, AND EXISTING VEGETATION WILL BE RETAINED AND PROTECTED TO THE EXTENT PRACTICABLE.
6. THE CONTRACTOR SHALL MINIMIZE THE AREAS OF DISTURBED LAND TO THE EXTENT FEASIBLE.
7. SEDIMENT CONTROL MEASURES WILL BE APPLIED TO CONTROL ANY SEDIMENTS THAT MAY BE PRODUCED AS A RESULT OF SITE CONSTRUCTION ACTIVITIES. EROSION AND DEPOSITION OF SEDIMENT WILL BE CLOSELY MONITORED DURING CONSTRUCTION.
8. TEMPORARY EROSION CONTROL MEASURES WILL INCLUDE HAY BALE CHECK DAMS, FILTER FABRIC, SILT FENCES, MULCH SOCKS, SEEDING AND MULCHING, AND SEEDED FILTER TRAPS.
9. TOPSOIL STRIPPED FROM CUT AND FILL AREAS WILL BE STOCKPILED FOR LOAMING AND SEEDING AT LATER CONSTRUCTION STAGES. THE STOCKPILES SHALL BE LOCATED SO AS TO ACT AS TEMPORARY DIVERSIONS, GENERALLY ON THE UPHILL SLOPE.
10. STOCKPILES SHALL BE SURROUNDED ON THEIR PERIMETER WITH SILT SOCK AND/OR SILTATION FENCES TO PREVENT AND/OR CONTROL SILTATION AND EROSION. THE LOCATION OF THE STOCKPILE AREAS MAY BE MODIFIED AS APPROVED BY THE ENGINEER.
11. TOPS OF STOCKPILES SHALL BE COVERED IN SUCH A MANNER SO THAT STORMWATER DOES NOT INFILTRATE THE MATERIALS AND THEREBY RENDER THE SAME UNSUITABLE FOR FILL USE.
12. ALL DISTURBED OR EXPOSED AREAS SUBJECT TO EROSION SHALL BE STABILIZED WITH MULCH OR SEEDED FOR TEMPORARY VEGETATIVE COVER. WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED OR HAVE TEMPORARILY BEEN SUSPENDED FOR MORE THAN SEVEN DAYS, OR WHEN FINAL GRADES ARE REACHED IN ANY PORTION OF THE SITE, STABILIZATION PRACTICES SHALL BE IMPLEMENTED WITHIN THREE DAYS. AREAS THAT REMAIN DISTURBED BUT INACTIVE FOR AT LEAST THIRTY DAYS SHALL RECEIVE TEMPORARY SEEDING IN ACCORDANCE WITH THE MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES.
13. EARTHWORK ACTIVITY ON THE SITE SHALL BE DONE IN A MANNER SUCH THAT RUNOFF IS DIRECTED TO THE LINE OF SILT SOCK EROSION CONTROL.
14. DURING UTILITY CONSTRUCTION, ALL WATER PUMPED FROM THE EXCAVATED TRENCH SHALL BE DIRECTED TO A "DIRT BAG" PUMPED SEDIMENT REMOVAL SYSTEM (OR APPROVED EQUAL) AS MANUFACTURED BY ACF ENVIRONMENTAL.
15. CULVERT/PIPE INLETS AND OUTFALLS SHALL BE PROTECTED BY HAYBALE FILTERS UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED.
16. SILT SACKS SHALL BE UTILIZED AT ALL EXISTING AND PROPOSED TREE BOX FILTERS SUBJECT TO STORMWATER RUNOFF FROM PROPOSED FILL AREAS DURING CONSTRUCTION, OR AS DIRECTED BY THE OWNER/ENGINEER. NO SEDIMENT SHALL ENTER THE ON-SITE DRAINAGE SYSTEMS AT ANY TIME.
17. ALL EROSION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED, CLEANED, REPAIRED, AND REPLACED AS NECESSARY THROUGHOUT ALL PHASES OF CONSTRUCTION. IN ADDITION, INSPECTION SHALL TAKE PLACE AFTER EACH RAINFALL EVENT.
18. ALL PROPOSED SLOPES (EXCLUDING THE RIPRAP SLOPE) STEEPER THAN 3:1 SHALL BE STABILIZED WITH A CURLEX EROSION CONTROL MATTING BY AMERICAN EXCELSIOR COMPANY (OR APPROVED EQUAL) AND PROTECTED FROM EROSION.
19. THE CONTRACTOR SHALL KEEP ON SITE AT ALL TIMES ADDITIONAL SILT SOCK AND EXTRA SILTATION FENCING FOR INSTALLATION AT THE DIRECTION OF THE ENGINEER, THE CONSERVATION COMMISSION OR THE PLANNING BOARD TO MITIGATE ANY EMERGENCY CONDITION.



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**EROSION CONTROL
AND DEMOLITION PLAN**

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ZONING DATA:

DISTRICT: COMMERCIAL DISTRICT WITH ADULT USE, MEDICAL MARIJUANA & WIRELESS TELECOMMUNICATIONS OVERLAYS					
USE: BANK ATM & RETAIL		ASSESSORS MAP 5 LOT 16		MERGE OF MAP 5 LOTS 13, 16, 18, 75	
CRITERIA	REQUIRED	EXISTING	PROPOSED	EX. MERCHANTS ROW	PROPOSED LOT MERGE
LOT AREA (TOTAL)	44,000 SF (MIN.)	34,391± SF	NO CHANGE	438,303± SF	472,694± SF
BUILDABLE UPLAND WETLAND		34,391± SF	NO CHANGE	302,787± SF	337,178± SF
		-----		135,516± SF	135,516± SF
LOT FRONTAGE ⁵	200 FT (MIN.)				
WASHINGTON ST		181.01 FT	NO CHANGE	616.62 FT	797.71 FT
WEBSTER ST		219.26 FT	NO CHANGE	311.05 FT	523.4 FT
FRONT SETBACK	75 FT (MIN.) ¹				
WASHINGTON ST		29.4 FT	68.4 FT	75.1 FT	68.4 FT
WEBSTER ST		17.4 FT	63.6 FT	87.7 FT	63.6 FT
REAR SETBACK	25 FT (MIN.)	N/A	N/A	244.8 FT	244.8 FT
SIDE SETBACK	15 FT (MIN.)	45.7 FT	18.9 FT	33.0 FT	33.0 FT
BUILDING HEIGHT ³	35 FT (MAX.)	33.2 FT	1 STORY, < 35 FT	< 35 FT	NO CHANGE
BUILDING COVERAGE ^{1,2,4}	12%-15%	15.1%	21.1%	20.5%	20.4%
LOT COVERAGE ⁴	60% (MAX.)	89.9%	79.9%	73.9%	75.3%

ZONING NOTES:

- WHEN THE USE IS FOR A BANK, RESTAURANT, SERVICE STATION OR ANY OPERATION WHICH GENERATES SIMILAR HIGH TRAFFIC COUNTS, MAXIMUM BUILDING COVERAGE SHALL NOT EXCEED TWELVE PERCENT (12%) OF THE LOT AREA. (SECTION 7.540.A)
- WHEN THE USE IS FOR GENERAL RETAILING OF GOODS WITHIN A STRUCTURE, THE MAXIMUM BUILDING COVERAGE SHALL NOT EXCEED FIFTEEN PERCENT (15%) OF THE LOT AREA. (SECTION 7.540.B)
- THE HEIGHT OF ANY BUILDING OR STRUCTURE SHALL NOT EXCEED THIRTY-FIVE (35) FEET AT ANY FACE MEASURED FROM THE AVERAGE GRADE AT THE FOUNDATION LINES. (SECTION 7.110)
- STORIES ABOVE THE AVERAGE GRADE AT THE FOUNDATION LINES. (SECTION 7.110)
- IN ALL ZONING DISTRICTS, ANY PORTION OF A LOT WHICH IS LOCATED IN A WETLANDS RESOURCE AREA OR IN A WELL PROTECTION ZONE SHALL NOT BE USED TO MEET ANY OF THE DIMENSIONAL REGULATIONS OF SECTION 7 EXCEPT IN ACCORDANCE WITH SECTION 8.110 OF THIS BYLAW AND EXCEPT THAT TEN PERCENT (10%) OF THAT AREA OF THE LOT WHICH IS LOCATED WITHIN THE 200 FOOT RIVERFRONT AREA MAY BE UTILIZED TO MEET THE LOT AREA REQUIREMENTS OF SAID SECTION 7. (SECTION 7.220)
- IF A LOT HAS FRONTAGE ON TWO (2) WAYS, BOTH FRONTAGES SHALL MEET THE REQUIREMENTS OF MINIMUM LOT FRONTAGE AND MINIMUM FRONT SETBACKS APPROPRIATE FOR THE ZONING DISTRICT IN WHICH THE LOT LIES. IN SUCH A CASE, THOSE LOT LINES CONSIDERED NOT TO BE FRONT LOT LINES SHALL BE DEEMED TO BE SIDE LOT LINES. A LOT SHALL BE CONSIDERED TO HAVE FRONTAGE ON TWO (2) WAYS IF THE FRONTAGE OF THE LOT INCLUDES ANY POINT ALONG THE ROUNDED CORNER BETWEEN THE TWO (2) INTERSECTING WAYS. IN SUCH A CASE, FRONTAGE SHALL BE MEASURED FROM THE POINT OF INTERSECTION OF THE EXTENDED WAYLINES AND ALONG EACH WAYLINE TO THE POINT WHERE A SIDE LOT LINE INTERSECTS THAT WAYLINE.

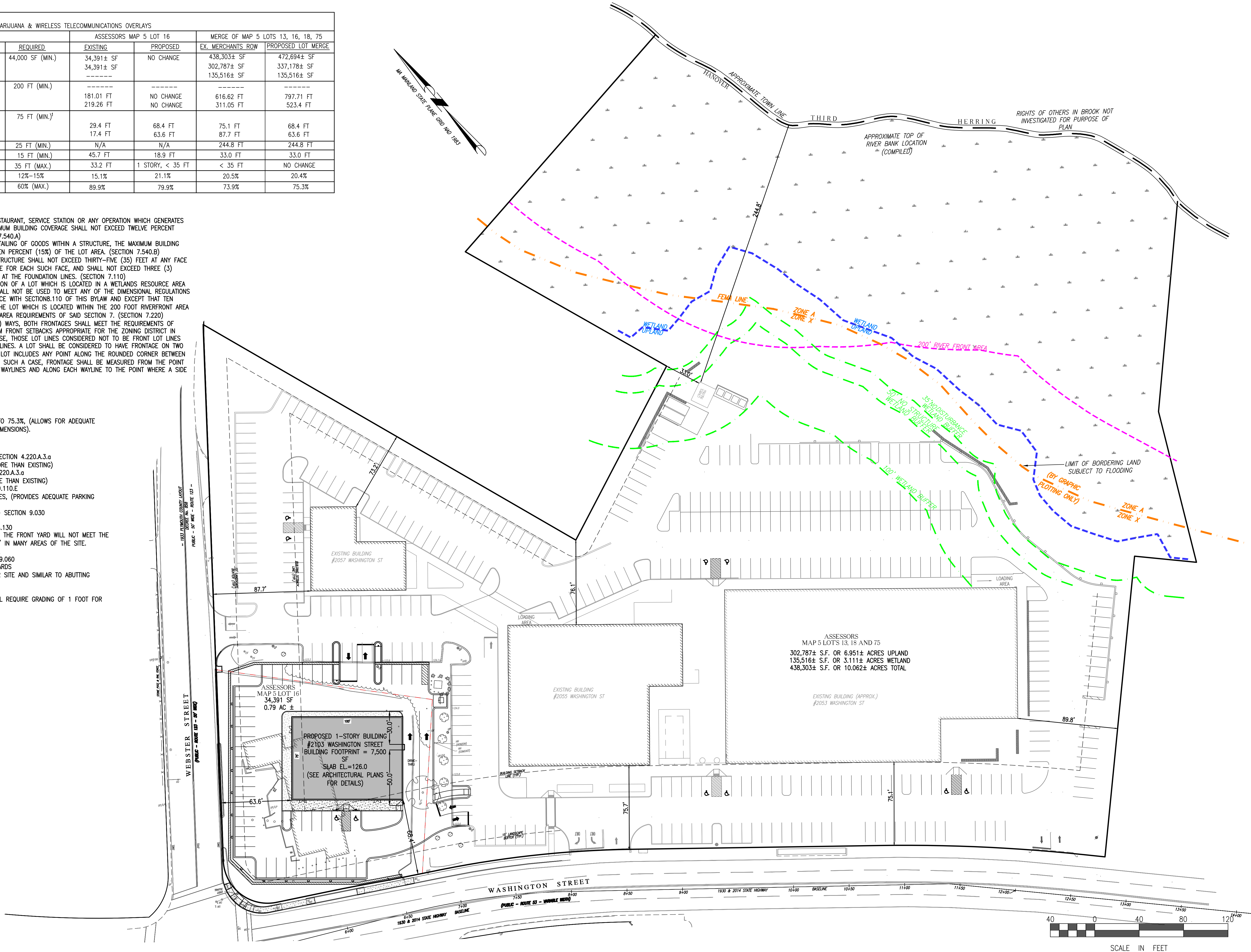
VARIANCE REQUESTS:

- LOT COVERAGE - SECTIONS 4.340
REQUEST: INCREASE FROM 73.9% TO 75.3%, (ALLOWS FOR ADEQUATE PARKING SPACES AND DRIVEWAY DIMENSIONS).

SPECIAL PERMIT REQUESTS:

- LOT SETBACKS (FRONT YARD) - SECTION 4.220.A.3.a
REQUEST: 63.6 FT, (CONFORMS MORE THAN EXISTING)
BUILDING COVERAGE - SECTION 4.220.A.3.a
REQUEST: 20.4%, (CONFORMS MORE THAN EXISTING)
PARKING SPACE SIZE - SECTION 9.110.E
REQUEST: 9' X 18' PARKING SPACES, (PROVIDES ADEQUATE PARKING SPACES)
- DRIVE THRU INGRESS & EGRESS - SECTION 9.030
REQUEST: 30 FT ON EGRESS,
LANDSCAPE BUFFERS - SECTION 8.130
REQUEST: LANDSCAPE BUFFERS ON THE FRONT YARD WILL NOT MEET THE MINIMUM REQUIRED BUFFER OF 20' IN MANY AREAS OF THE SITE. (CONFORMS MORE THAN EXISTING).
- FRONT YARD PARKING - SECTION 9.060
REQUEST: 36 SPACES IN FRONT YARDS
(PROVIDES ADEQUATE PARKING FOR SITE AND SIMILAR TO ADJUTING PROPERTY).
- SITE GRADING - (SECTION 7.660)
REQUEST: THE PROPOSED SITE WILL REQUIRE GRADING OF 1 FOOT FOR MORE THAN 500 SF OF LAND.

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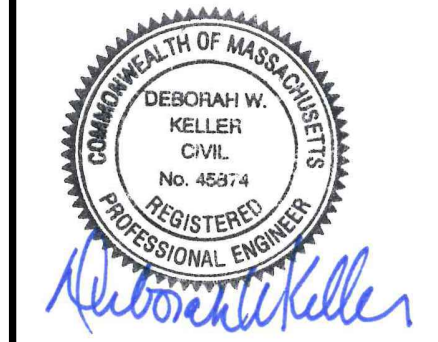
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ZONING PLAN

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PARKING NOTES:

PROPOSED 7,500 GFA BANK ATM AND RETAIL USE
REQUIRED PARKING: 1 SPACE PER 200 SF
(BANKS, RETAIL SALES AND/OR SERVICE AND OTHER
HIGH TRAFFIC BUSINESS USE)
REQUIRED PARKING: 38, WITH 2 ACCESSIBLE SPACES
PROPOSED PARKING: 45, WITH 2 ACCESSIBLE SPACES

REQUIRED: 10'X20'
PROPOSED 9'X18'

BUILDING:

PROPOSED 7,500 GFA BANK AND RETAIL USE

DRIVE — THRU NOTES:

REQUIRED: MIN. DRIVE WIDTH 15'
DRIVE SHALL EXTEND MIN. OF 50' ON BOTH APPROACH &
EGRESS FROM WINDOW

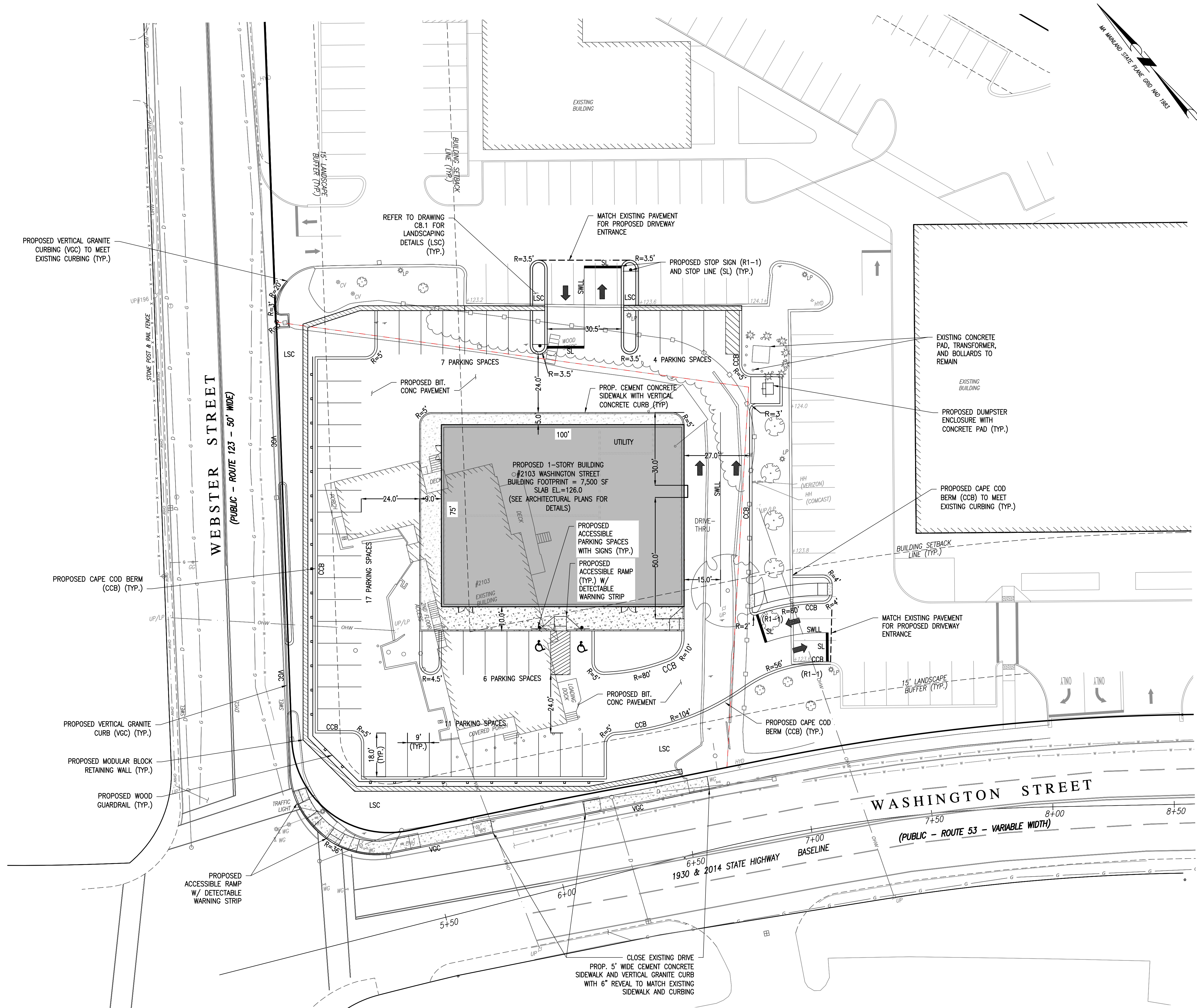
ALLOW MIN. OF 5 VEHICLES PER DRIVE TO AWAIT SERVICE
WITHOUT IMPACTING TRAFFIC FLOW

PROPOSED: MIN. DRIVE WIDTH 15'

DRIVE EXTENDS 50' ON APPROACH, 30' ON EGRESS FROM
WINDOW

TRAFFIC MARKINGS:

STOP LINE (SL) — 12" WHITE LINE
PARKING LINE — 4" WHITE LINE
SOLID WHITE LANE LINE (SWLL) — 4" WHITE LINE



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SITE LAYOUT PLAN

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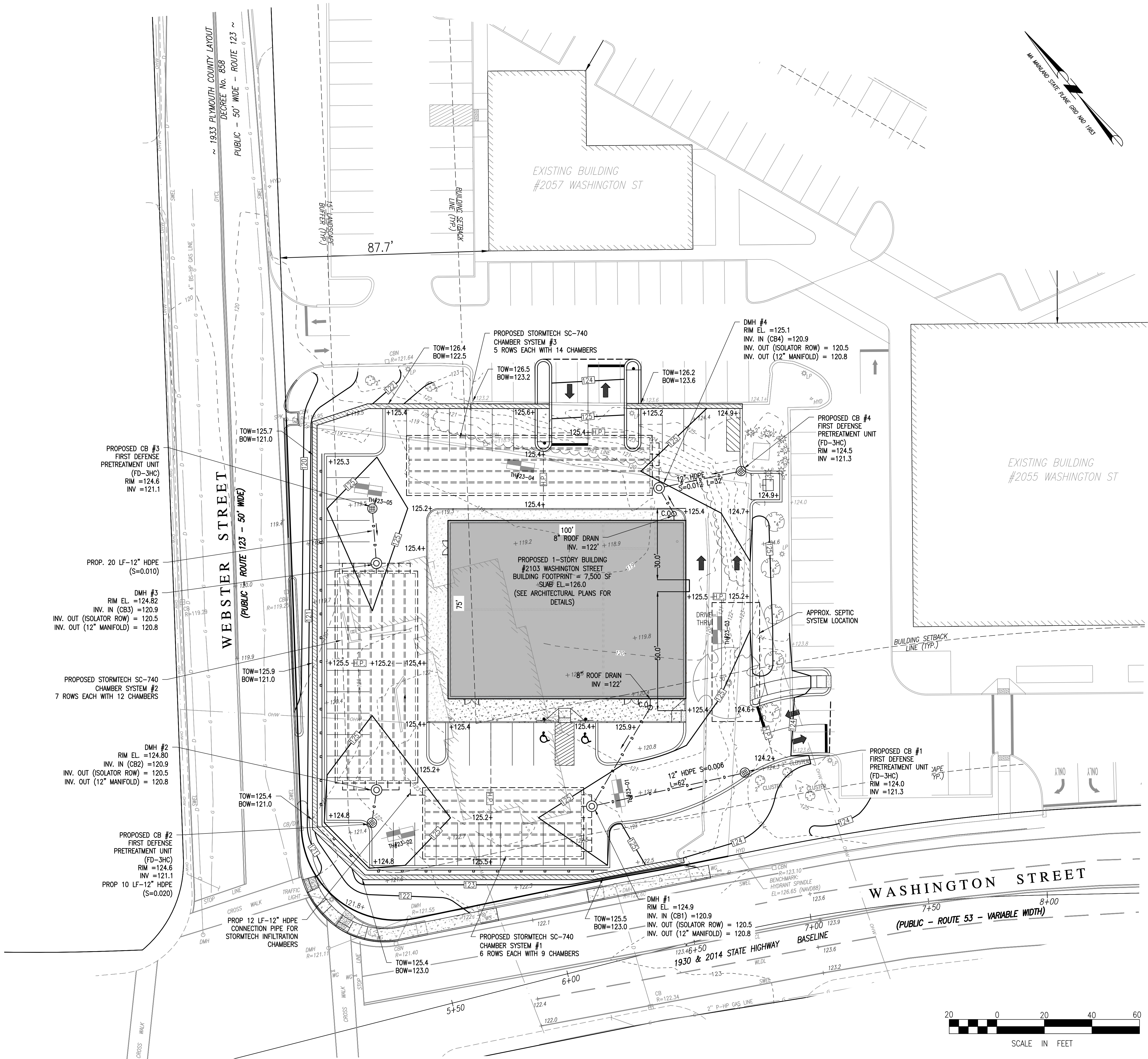
GRADING AND DRAINAGE NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCH MARKS NECESSARY FOR THE WORK.
2. ALL ON-SITE STORM DRAINAGE PIPES SHALL BE HDPE ADS (N-12) CORRUGATED POLYETHYLENE (SMOOTH INTERIOR) PIPE, UNLESS NOTED OTHERWISE.
3. REINFORCED CONCRETE MANHOLES & CATCHBASINS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM SPECIFICATION C478 AND AASHTO DESIGNATION M199. ALL CONCRETE STRUCTURES SHALL MEET THE LATEST MASS HIGHWAY DEPARTMENT SPECIFICATIONS AND HANOVER SUBDIVISION STANDARDS.
4. CORRUGATED POLYETHYLENE PIPE AND STRUCTURES SHALL CONFORM WITH AASHTO DESIGNATIONS M294 AND M252, SHALL BE MANUFACTURED WITH HIGH DENSITY POLYETHYLENE PLASTIC AND SHALL BE ADS N-12 PIPE AS MANUFACTURED BY ADVANCE DRAINAGE SYSTEM, INC. OR HANCOR HI Q PIPE AS MANUFACTURED BY HANCOR, INC. OR APPROVED EQUAL UNLESS OTHERWISE NOTED OR DETAILED.
5. BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY AASHTO T-1800 METHOD. SHEETING, IF USED, SHALL BE REMOVED PRIOR TO BACKFILLING TRENCH. UNSUITABLE SOIL BELOW THE INVERT SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND SHALL NOT BE USED AS BACKFILL.
7. A MINIMUM OF 18" VERTICAL CLEARANCE SHALL BE MAINTAINED WHERE WATER SERVICES CROSS STORM DRAIN LINES.
8. ALL SERVICE CONNECTIONS (I.E. ROOF AND CANOPY DRAINS) SHALL BE DIRECTED TOWARDS THE ON SITE DRAINAGE FACILITIES. COORDINATE WITH THE ARCHITECTURAL PLANS FOR CONNECTIONS. THE ROOF DRAINS FROM THE BUILDING SHALL CONNECT TO INFILTRATION CHAMBERS 1 AND 3.

DRAINAGE INFILTRATION SYSTEM NOTES:

DURING CONSTRUCTION OF THE DRAINAGE INFILTRATION SYSTEMS, THE FOLLOWING MEASURES SHALL BE TAKEN:

1. ALL STOCKPILES SHALL BE STORED DOWN GRADIENT OF THE EXCAVATION TO ENSURE ANY POTENTIAL SEDIMENT DOES NOT REACH THE INFILTRATION AREA.
2. ALL EQUIPMENT FOR EXCAVATION AND PLACEMENT OF STONE AND STRUCTURES SHALL BE KEPT OUTSIDE THE AREA OF THE SYSTEM.
3. ALL WATER RESULTING FROM DEWATERING ACTIVITIES SHALL BE DIRECTED AWAY FROM THE INFILTRATION AREAS.
4. NO STORMWATER SHALL BE DISCHARGED INTO THESE FACILITIES UNTIL THE CONTRIBUTING AREAS ARE FULLY STABILIZED WITH PAVEMENT, VEGETATION OR OTHER PERMANENT TREATMENT.



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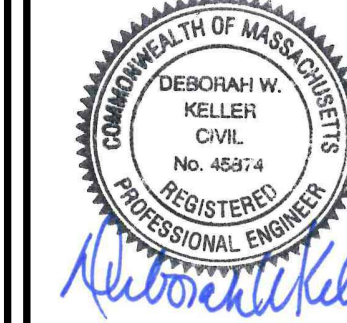
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SCALE:

1" = 20'

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40 Court Street, Suite 2A
Plymouth, MA 02360
508-746-6060

448 N. Falmouth Highway
North Falmouth, MA 02556
508-563-2183

Marine Division:
26 Union Street
Plymouth, MA 02360
508-746-6060

PROJECT #:

22-188

PROJECT:

**DEFINITIVE
SITE PLAN**

2053, 2055, 2057 & 2103
WASHINGTON STREET
HANOVER, MASSACHUSETTS

CLIENT:
2103 WASHINGTON ST LLC
552 ADAMS STREET
MILTON, MA 02186
(781) 982-1144

DRAWING PATH:

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DATE:

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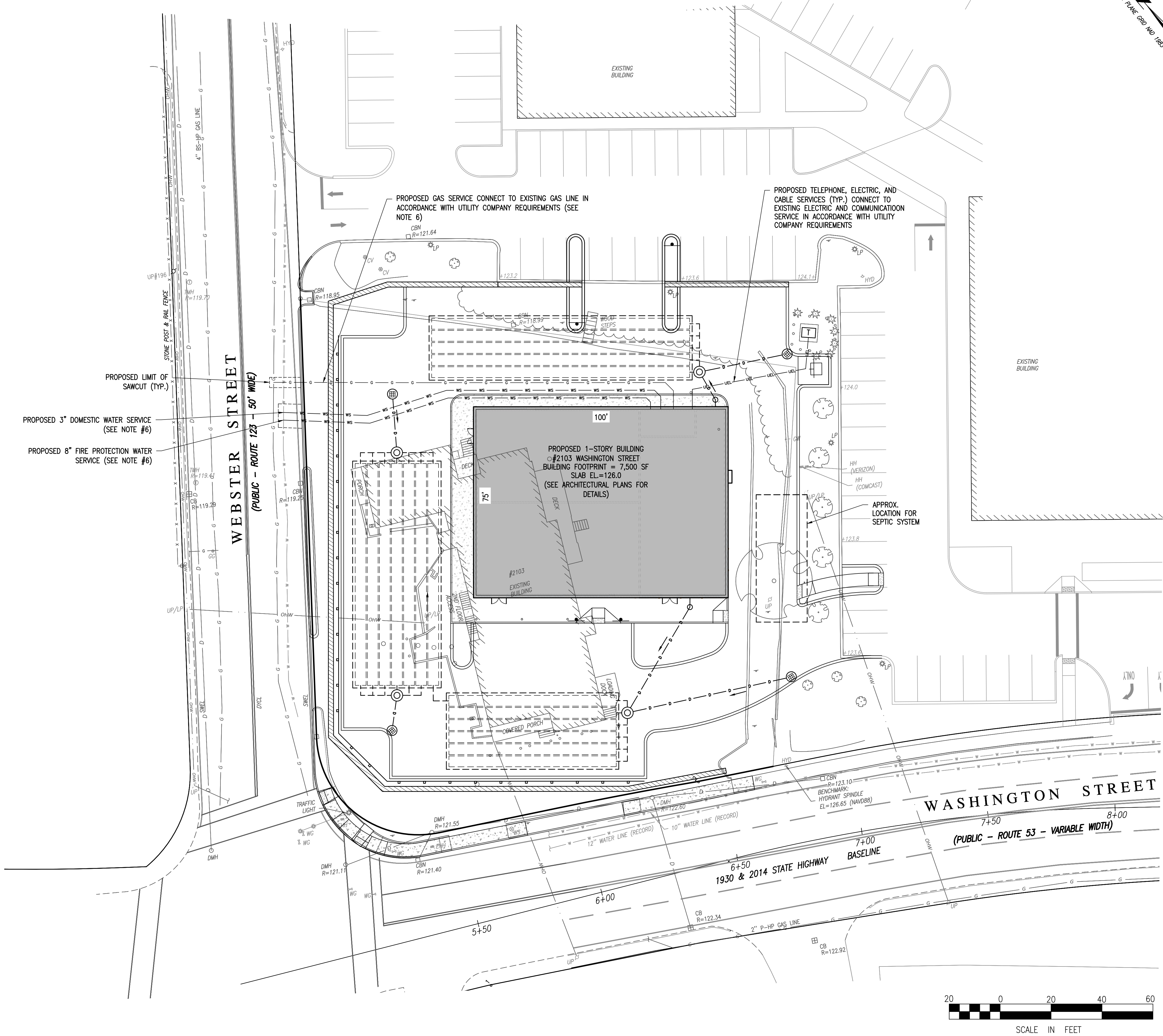
**GRADING AND
DRAINAGE PLAN**

C6.1

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UTILITY NOTES:

- BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY AASHTO T-1800 METHOD. SHEETING, IF USED, SHALL BE REMOVED PRIOR TO BACKFILLING TRENCH.
- UNSUITABLE SOIL BELOW THE INVERT SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND SHALL NOT BE USED AS BACKFILL.
- ALL ROOF RUNOFF WILL BE DIRECTED TO RELATIVE INFILTRATION CHAMBERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
- FINAL SIZE, LOCATION AND MATERIAL OF GAS, DOMESTIC WATER, AND FIRE SERVICE TO BE DESIGNED BY THE MEP ENGINEER FOR THE BUILDING PRIOR TO CONSTRUCTION. THE PROPOSED GAS SERVICE LOCATION AND CAPACITY SHALL BE VERIFIED WITH THE GAS COMPANY. THE CONTRACTOR SHALL CONFIRM WITH THE GAS COMPANY THAT GAS LINE INSTALLATION SHALL BE BY THE LOCAL GAS COMPANY. THE CONTRACTOR SHALL GIVE THE GAS COMPANY ADVANCE NOTICE OF WHEN THE GAS LINE CAN BE INSTALLED. THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATION AND BACKFILL AND COMPACTION FOR THE GAS LINE.
- THE CONTRACTOR SHALL EXCAVATE THE TEST PITS IN THE LOCATION SHOWN ON THE PLAN PRIOR TO COMMENCING WORK TO VERIFY THE ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES. THE CONTRACTOR SHALL PROVIDE THE OWNER AND ENGINEER WITH THE RESULTS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL COORDINATE WITH THE ELECTRIC, CABLE, AND TELEPHONE COMPANIES TO VERIFY LOCATION, SIZE, AND TYPE OF SAID UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL GIVE SAID UTILITY COMPANIES ADVANCE NOTICE OF WHEN UTILITY LINES WILL BE INSTALLED.
- ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER AND A MAXIMUM OF 6 FEET OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE. GREATER DEPTHS ARE PERMITTED WHERE REQUIRED TO AVOID CONFLICTS WITH OTHER UTILITIES.
- GENERALLY, WATER MAIN FITTINGS IDENTIFIED ON THIS DRAWING ARE SHOWN FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS ARE NOTED, SHOWN OR INDICATED.
- ALL WATER MAIN FITTINGS, TEES, HYDRANTS, ETC. SHALL BE RESTRAINED WITH CONCRETE THRUST BLOCKS.
- DOMESTIC WATER SERVICES 2.5" AND SMALLER SHALL BE TYPE K COPPER TUBING AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED CORPORATION STOP WITH APPROVED SADDLE CURB STOP, AND BOX. DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX AND TEE FITTINGS.
- ALL WATER MAINS 3" AND LARGER SHALL BE CEMENT LINED DUCTILE IRON - CLASS 52 AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED FITTINGS AND GATE VALVES. ALL GATE VALVES SHALL BE MUELLER, OPEN LEFT.
- ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED ALL LOCAL MUNICIPAL REQUIREMENTS.
- PRESSURE AND LEAKAGE TEST, DISINFECTION AND FLUSHING SHALL BE IN ACCORDANCE WITH ALL LOCAL MUNICIPAL STANDARDS AND REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS IN CONNECTION WITH UTILITY TESTS, FLUSHING AND INSPECTIONS AS REQUIRED BY THE LOCAL MUNICIPALITY.
- PRIMARY WATER METER AND BACKFLOW PREVENTER SHALL BE LOCATED AT THE POINT WHERE THE WATER LINE ENTERS EACH BUILDING UNLESS OTHERWISE NOTED OR DETAILED IN THE DRAWINGS.
- REFER TO THE WASTEWATER TREATMENT SYSTEM DESIGN PLANS FOR ALL GRAVITY SEWER CONNECTIONS. A; GRAVITY SANITARY SEWER PIPE SHALL BE POLYVINYL CHLORIDE PIPE (PVC) SDR 35 AND SHALL CONFORM WITH ASTM-D3034 UNLESS NOTED OTHERWISE.
- WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AS SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST EIGHTEEN INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL JOINT PIPE FOR A DISTANCE OF TEN FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IF MECHANICAL JOINT PIPE IS NOT USED THEN BOTH WATER MAIN AND SANITARY SEWER SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
- DUE TO THE SMALL SCALE OF THE SITE WORK DRAWINGS, EXACT LOCATION OF UTILITY STUBS FOR BUILDING CONNECTIONS SHALL BE VERIFIED WITH THE ARCHITECTURAL DRAWINGS. SERVICE STUBS TO THE BUILDING SHALL BE INSTALLED TO A POINT 10 FEET FROM THE BUILDING WALL UNLESS OTHERWISE NOTED OR DETAILED.



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UTILITY PLAN

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LANDSCAPE SCHEDULE:

KEY	BOTANICAL NAME	COMMON NAME	SIZE
DECIDUOUS TREES:			
HL	GLEDITSIA TRIACANTHOS	HONEYLOCUST	3-5" CAL
RM	ACER RUBRUM	RED SUNSET MAPLE	3-5" CAL
SMAG	MAGNOLIA STELLATA	STAR MAGNOLIA	8-10' H

EVERGREEN SHRUBS:

AJ	JUNIPERUS HORIZONTALIS	ANDORRA JUNIPER	18-24"
DAV	THUJA OCCIDENTALIS	DARK AMERICAN ARBORVITAE	6-7'
ERC	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	7-8'
IG	ILEX GLABRA	SHAMROCK INKBERRY	3'
SGJ	JUNIPERUS CHINENSIS	SEA GREEN JUNIPER	3'
WBX	BUXUS	WINTERGEM BOXWOOD	3'

DECIDUOUS SHRUBS:

BAY	MYRICA PENSYLVANICUM	NORTHERN BAYBERRY	3'
CL	CLETHRA ALNIFOLIA	SWEET PEPPER	3'
POT	POTENTILLA	ABBOTSWOOD POTENTILLA	1.5-2'
RTD	CORNUS ALBA	VARIGATED RED TWIG DOGWOOD	3'
SYM	SYMPHORICARPOS ALBA	SNOWBERRY	3'
VIT	VIBURNUM TRILOBUM	CRANBERRYBUSH	3'

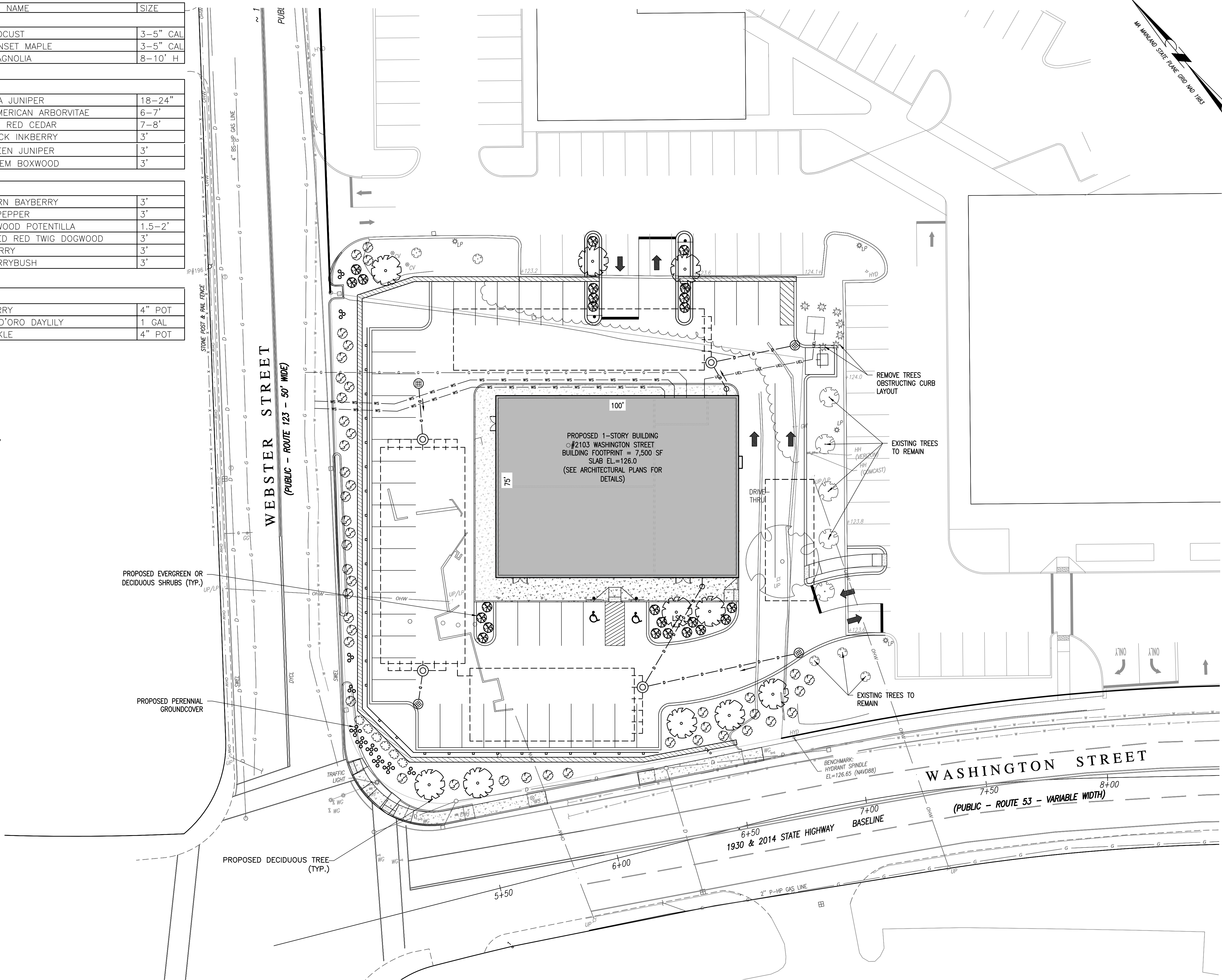
PERENIAL/GROUNDCOVERS:

BE	ARCTOSTAPHYLOS UVA	BEARBERRY	4" POT
SDY	MEEROCALLIS	STELLA D'ORO DAYLILY	1 GAL
V	VINCA MINOR	PERIWINKLE	4" POT

LANDSCAPE NOTES:

- ALL PLANT MATERIALS SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS SHALL BE NATIVE TO NEW ENGLAND AND HEALTHY, VIGOROUS, FREE OF DISEASE, INSECTS AND PESTS.
- PLANT VARIETIES ARE SUBJECT TO CHANGE DUE TO AVAILABILITY. COORDINATION WITH THE LANDSCAPE ARCHITECT FOR ALL PLANT VARIETY SUBSTITUTIONS.
- FINAL LANDSCAPE LAYOUT TO BE PREPARED BY A REGISTERED LANDSCAPE ARCHITECT.

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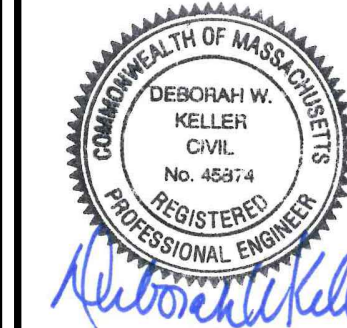
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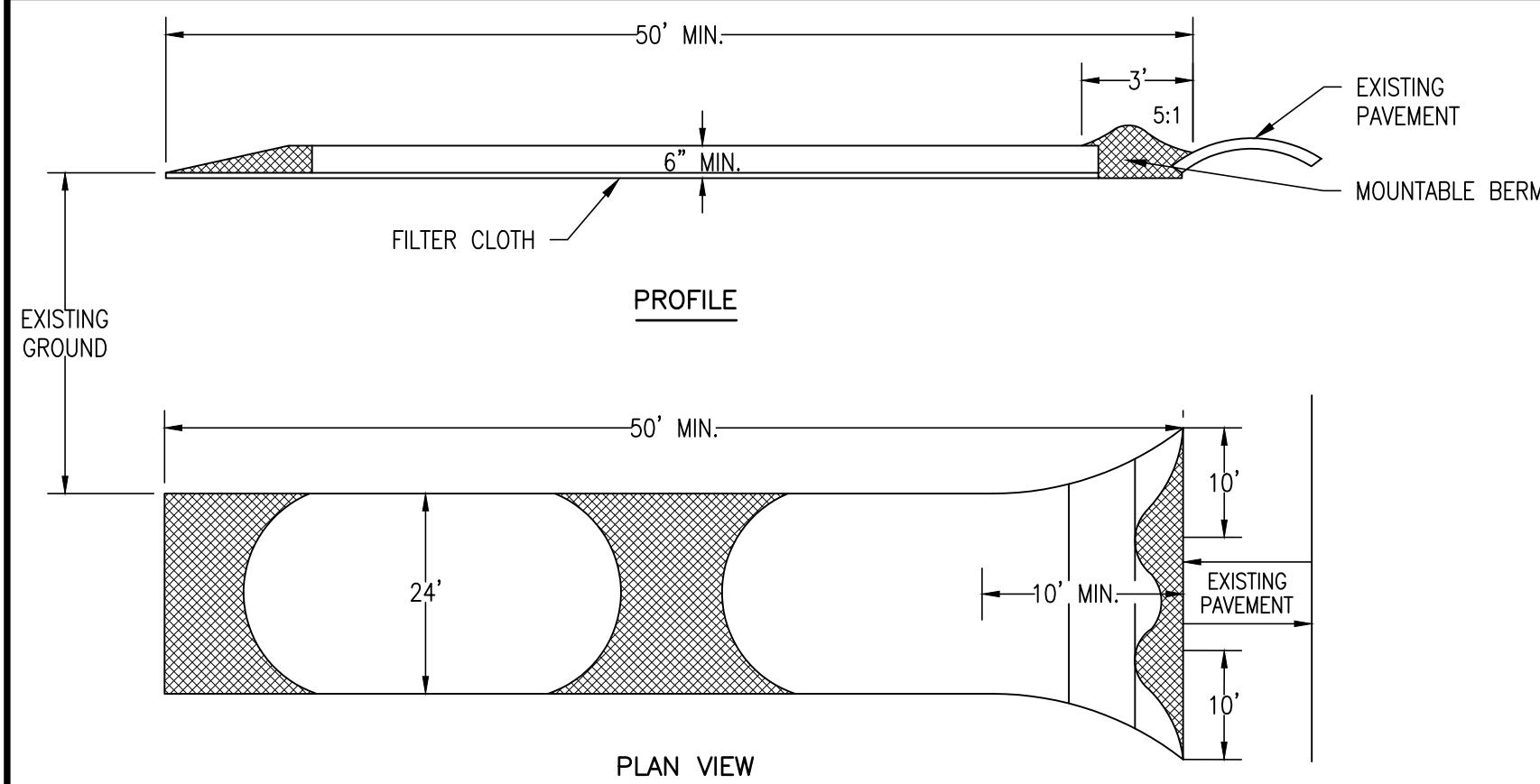
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LANDSCAPING PLAN

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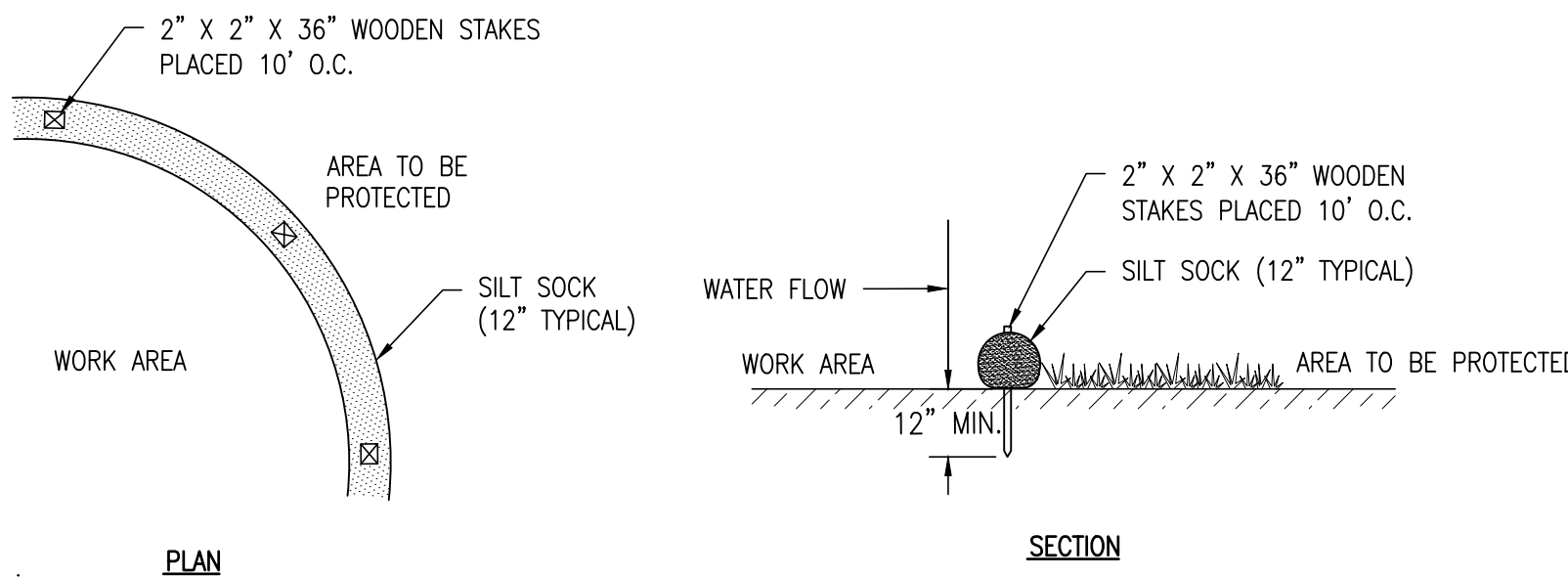
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STABILIZED CONSTRUCTION ENTRANCE
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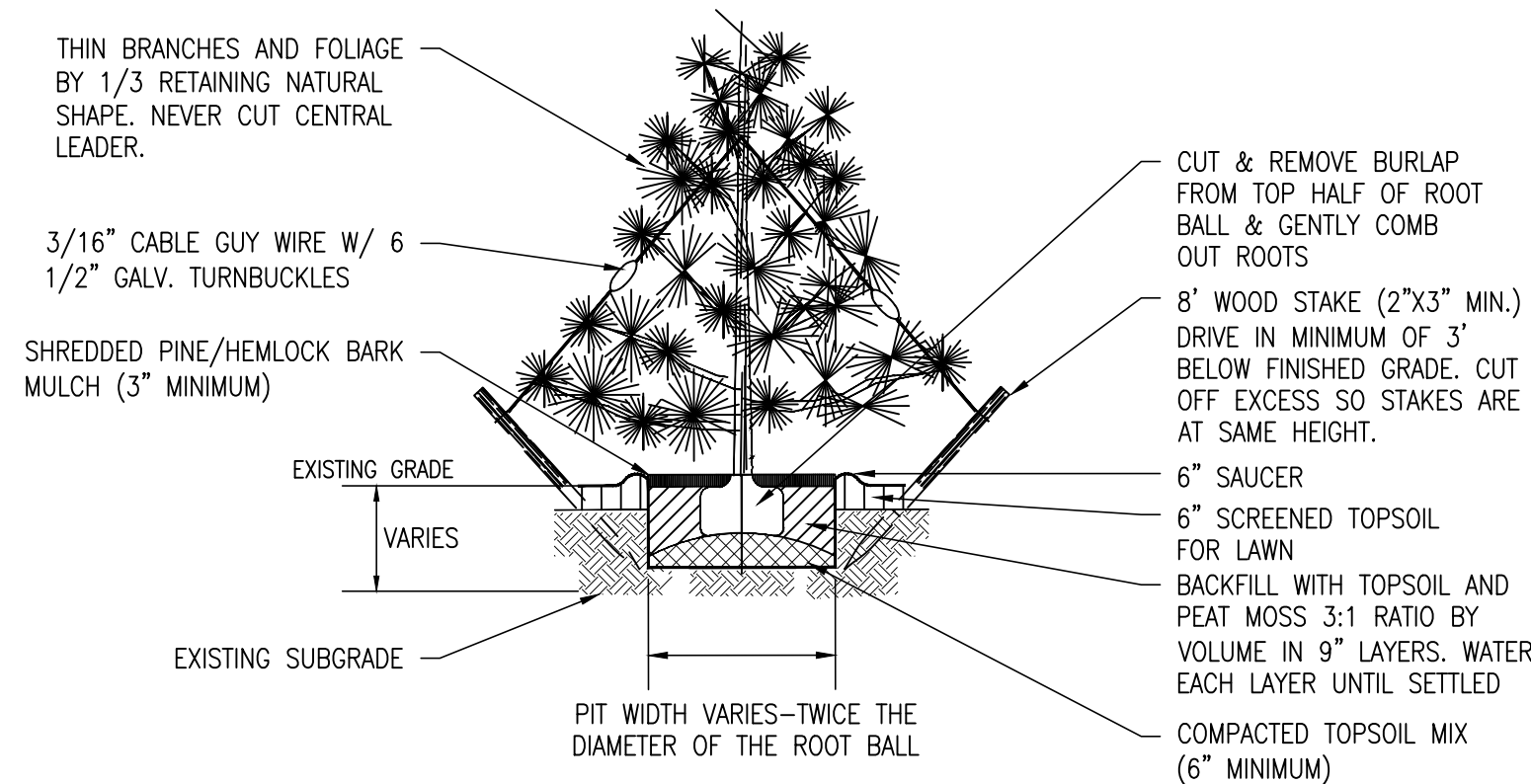
SPECIFICATIONS

1. STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – AS REQUIRED, BUT NOT LESS THAN 50 FT.(EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – TEN (10) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAYS MUST BE REMOVED IMMEDIATELY.
8. WASHING – WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

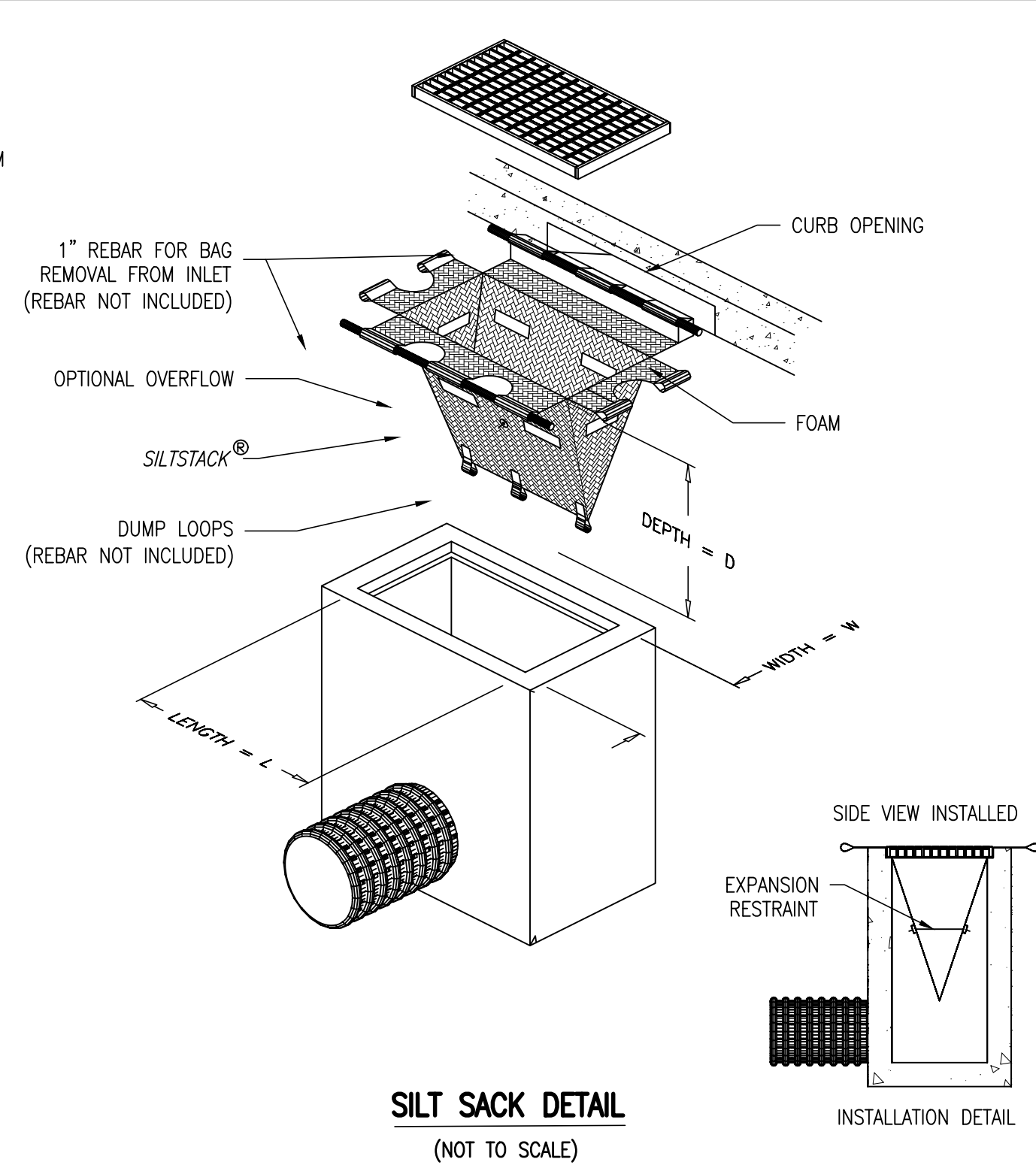


SILT SOCK DETAIL
(NOT TO SCALE)

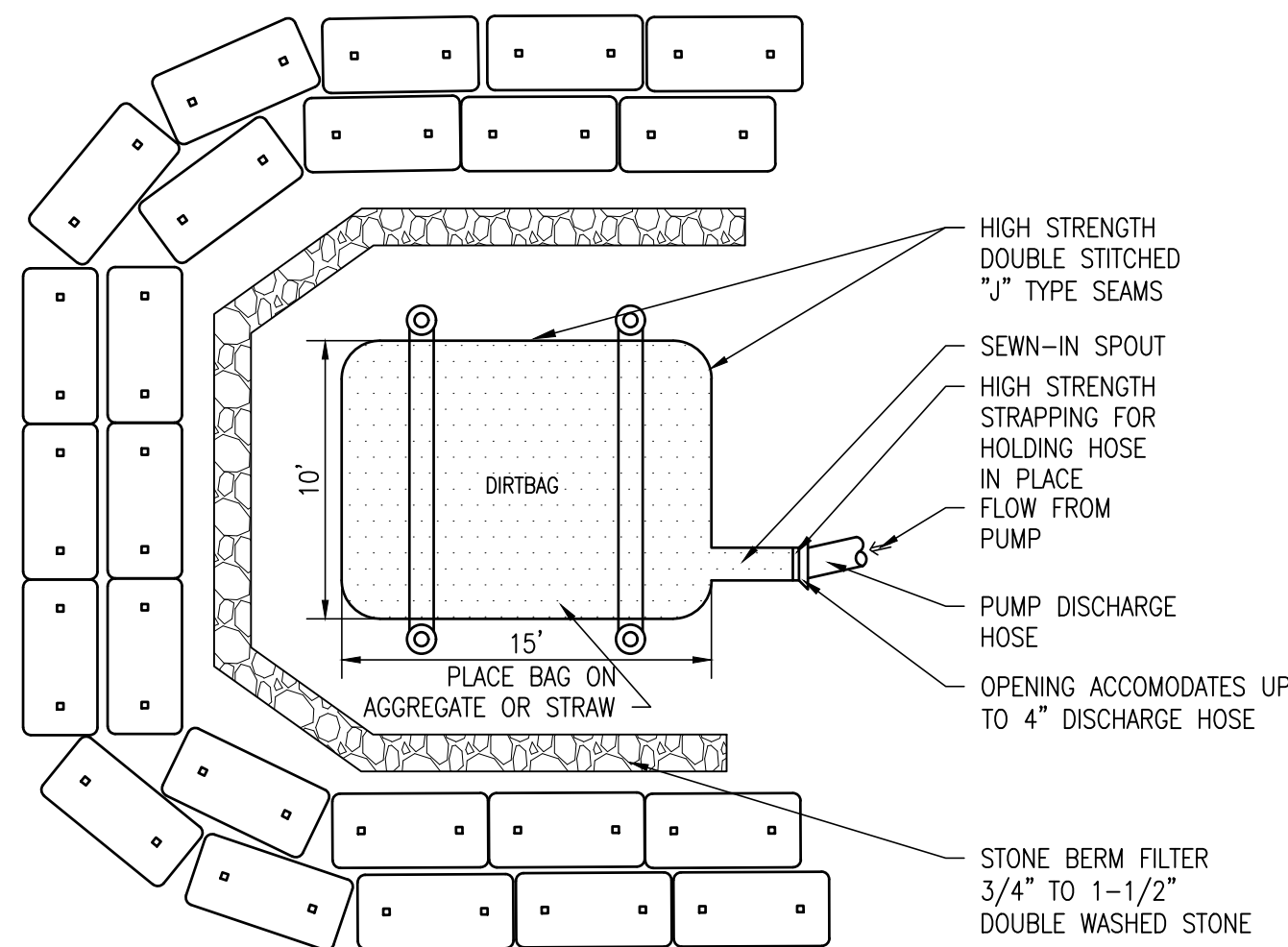
NOTE: REFER TO THE PLAN FOR PROPOSED LOCATION.



EVERGREEN TREE PLANTING
NOT TO SCALE

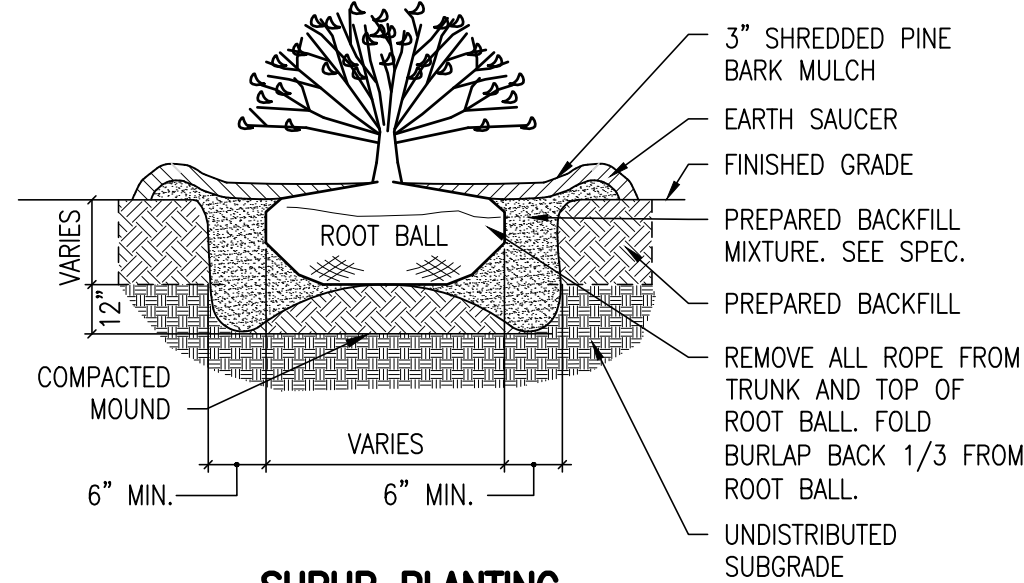


SILT SACK DETAIL
(NOT TO SCALE)



DIRTBAG DETAIL
(NOT TO SCALE)

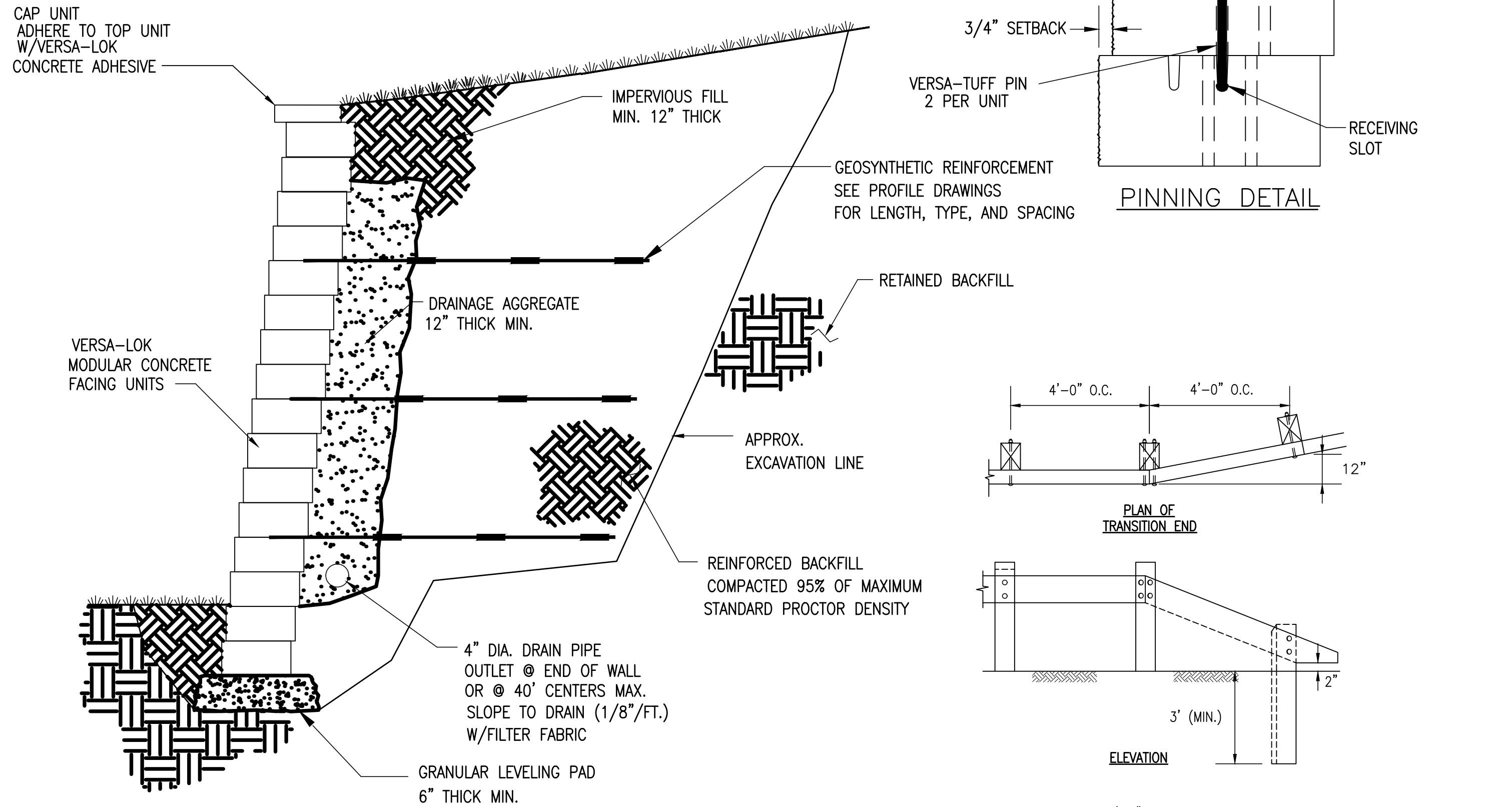
NOTE: CONTRACTOR WILL KEEP A SUFFICIENT SUPPLY OF HAY BALES, CLEAN STONE AND DIRT BAGS TO ENSURE SILTATION IS CONTROLLED ON SITE. A MINIMUM OF TWO TIMES THE HAY BALES AND STONE ARE NEEDED AND FOUR DIRT BAGS WILL BE KEPT ON SITE.



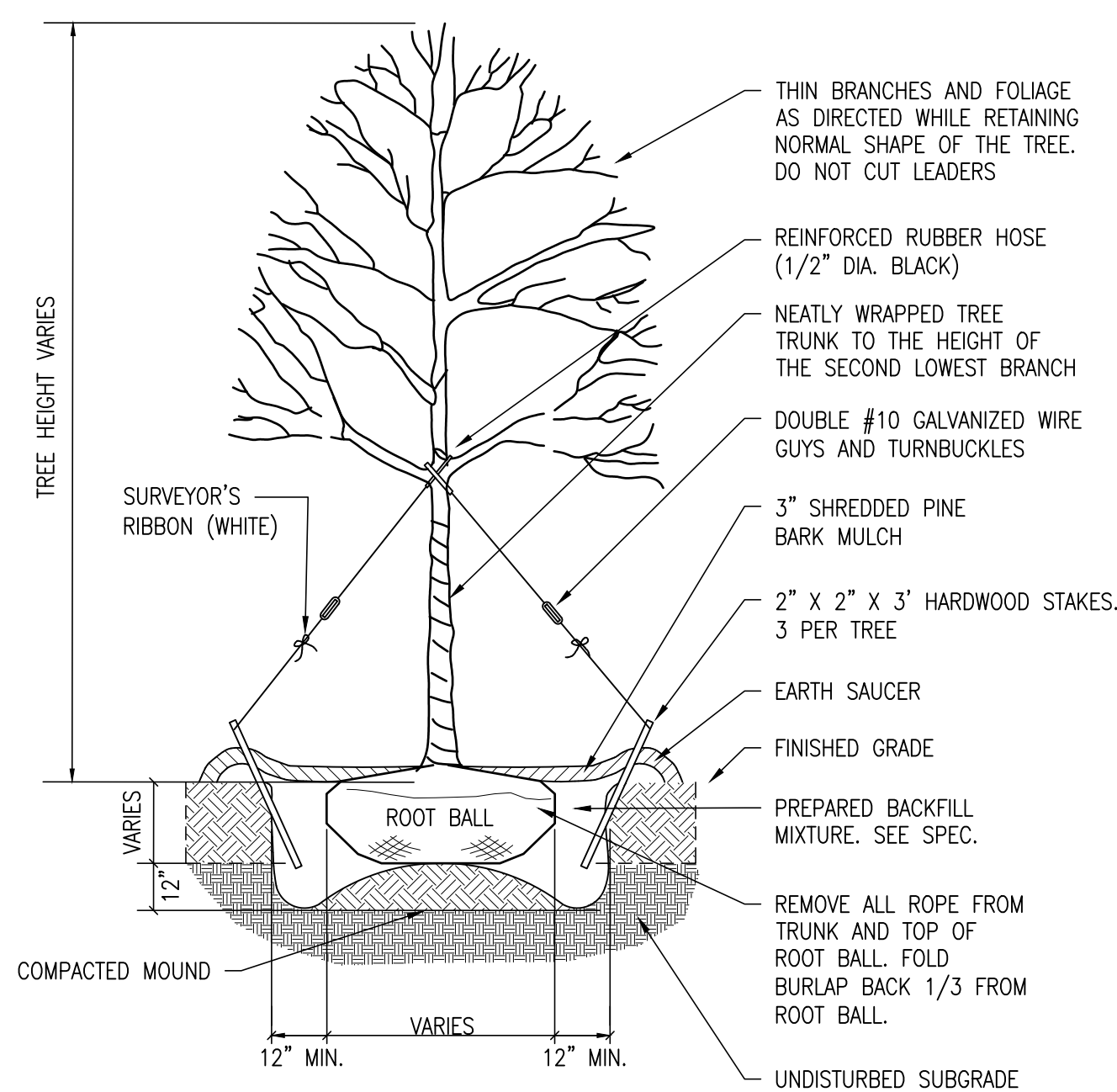
SHRUB PLANTING
(NOT TO SCALE)

NOTES:

1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.



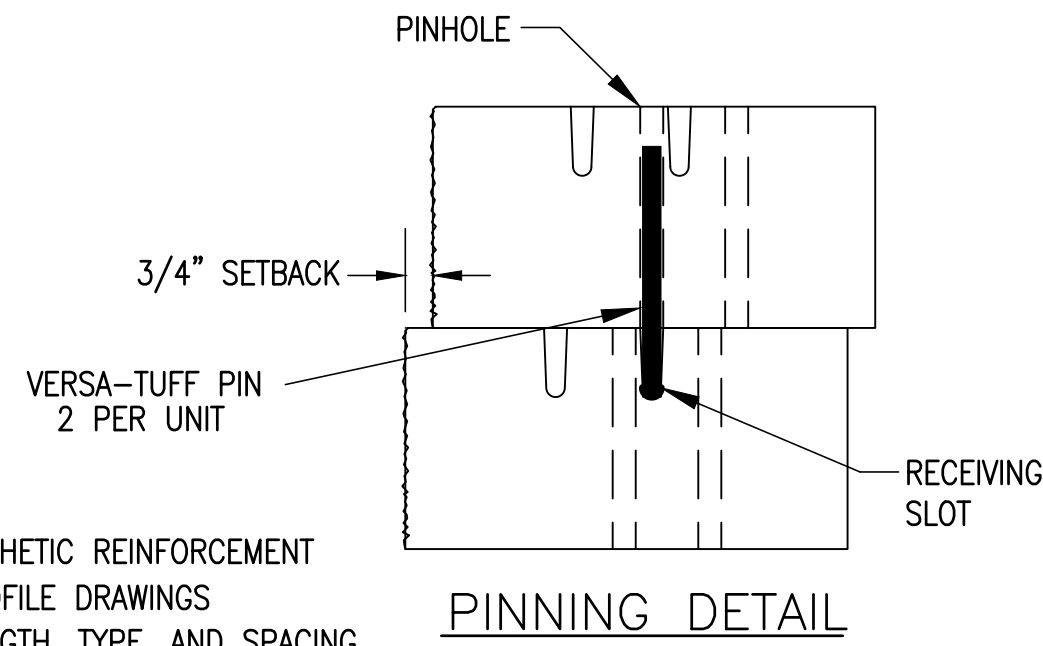
TYPICAL SECTION-REINFORCED RETAINING WALL
(NOT TO SCALE)



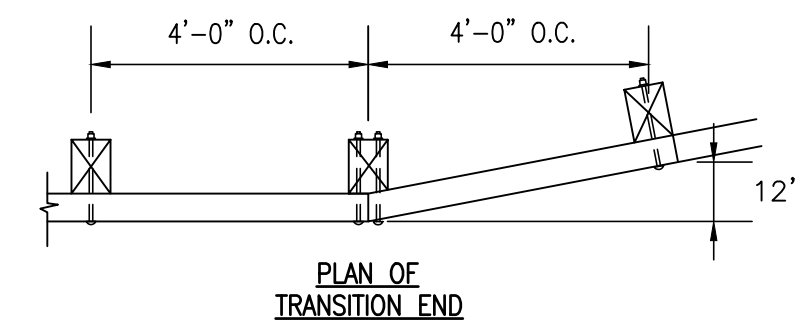
DECIDUOUS TREE PLANTING
NOT TO SCALE

NOTES:

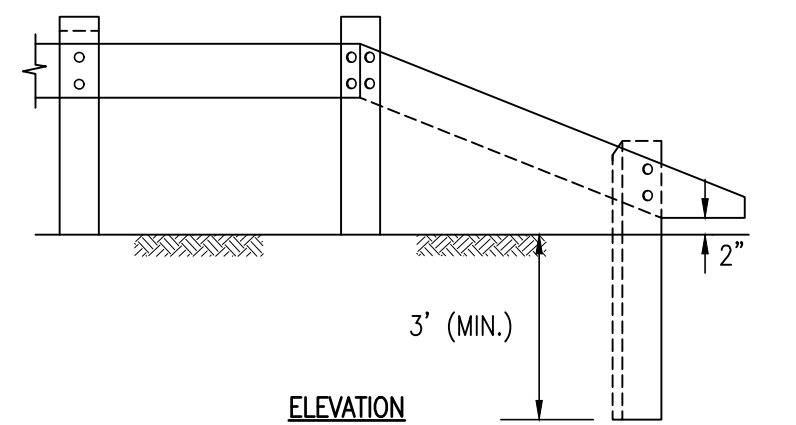
1. NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.
2. PLANTING DEPTH SHALL BE THE SAME OR HIGHER AS GROWN IN NURSERY.



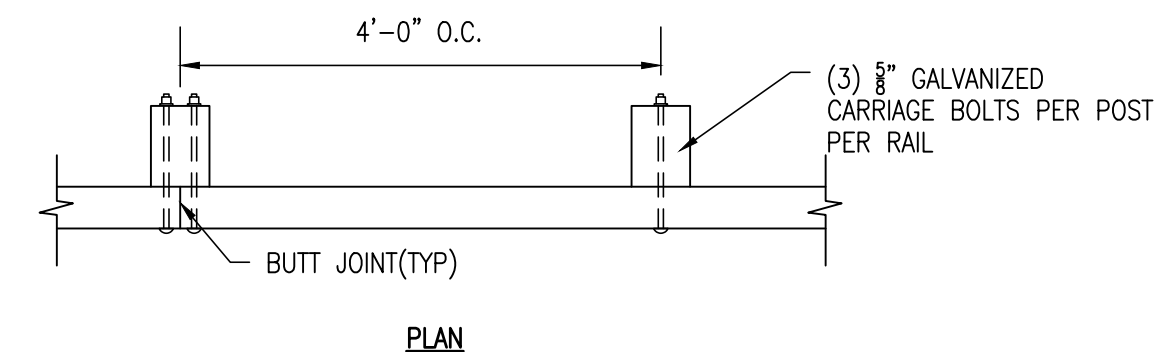
PINNING DETAIL



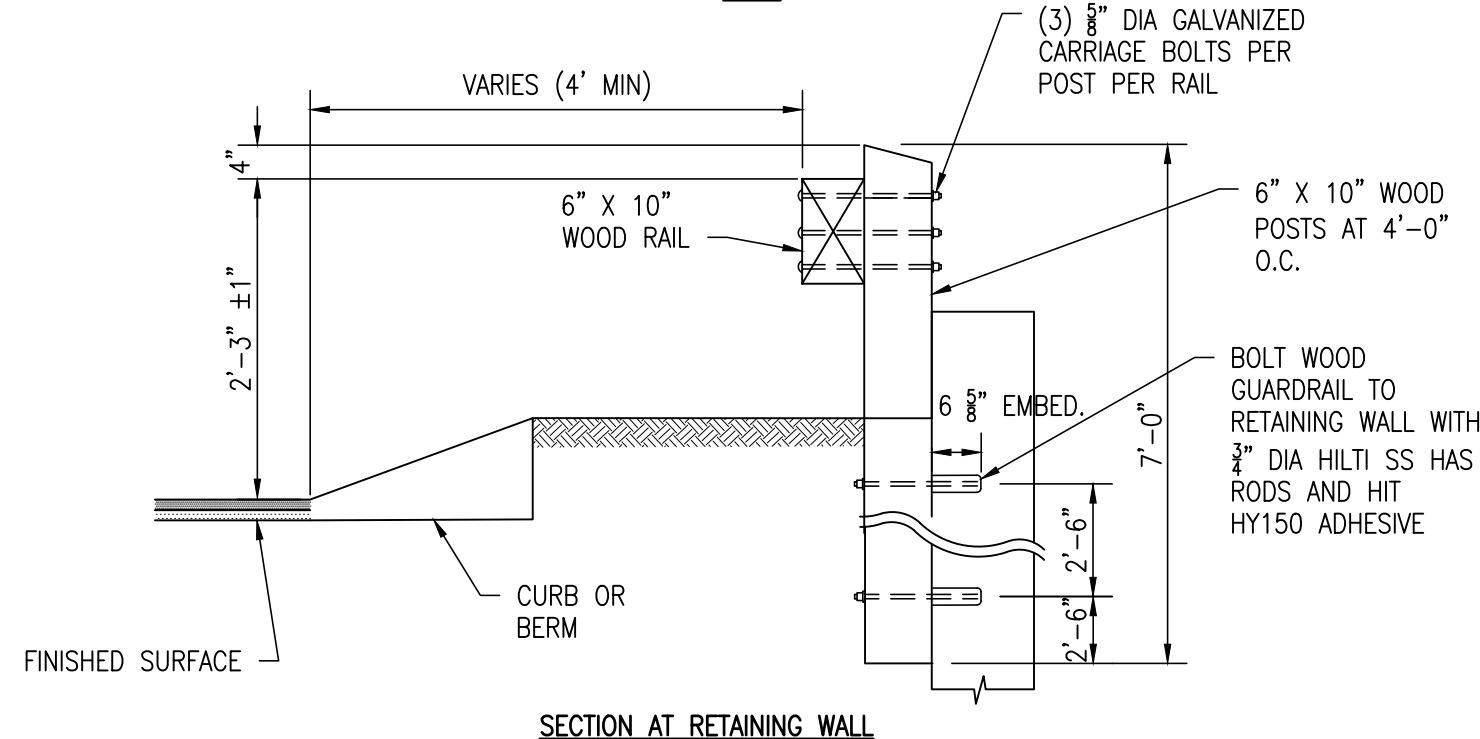
PLAN OF TRANSITION END



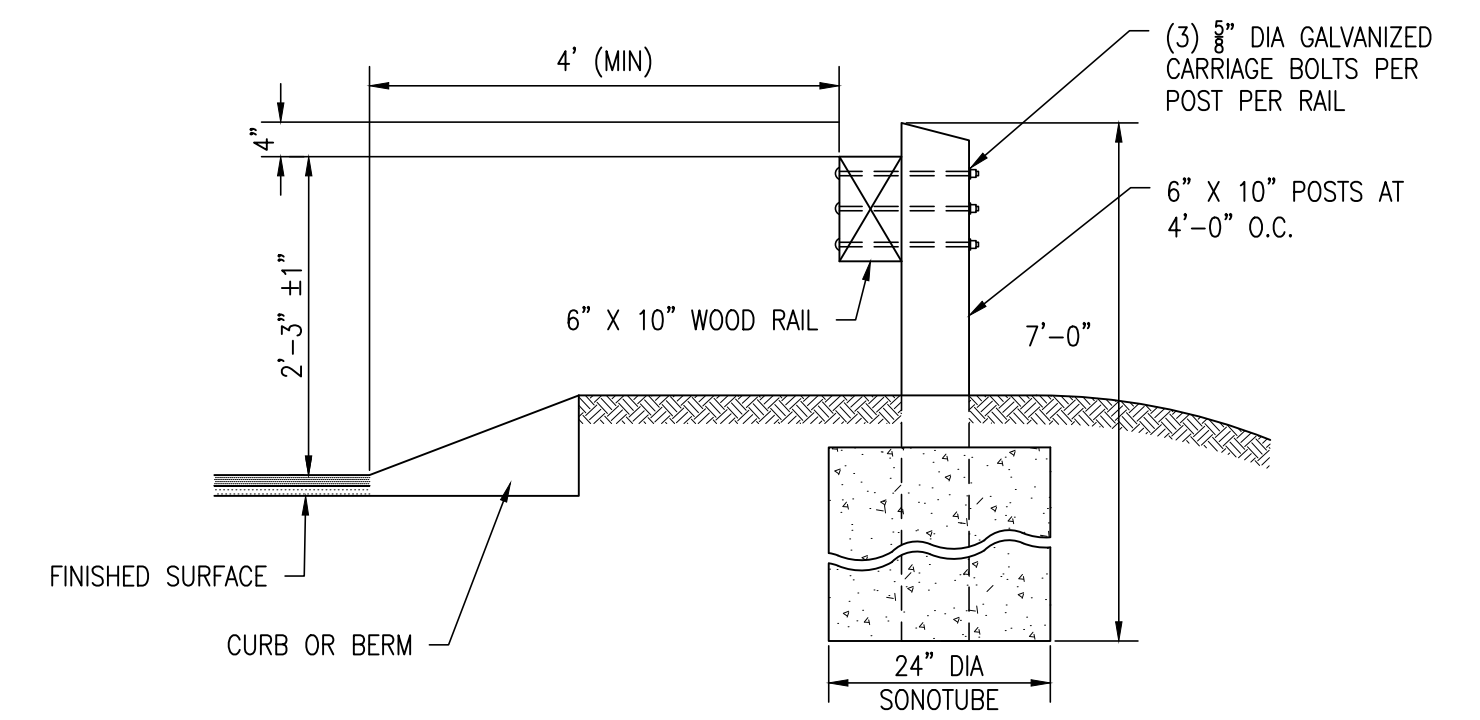
ELEVATION



PLAN



SECTION AT RETAINING WALL



SECTION AT GRADE

NOTES:

1. ALL RAIL AND POST SECTIONS TO BE PRESSURE TREATED #1 SOUTHERN YELLOW PINE OR EQUAL.
2. BOLT CONNECTIONS TO BE DESIGNED BY A REGISTERED PROFESSIONAL STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

WOOD GUARDRAIL DETAIL
(NOT TO SCALE)

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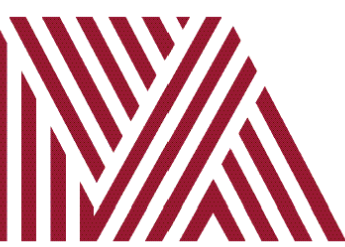
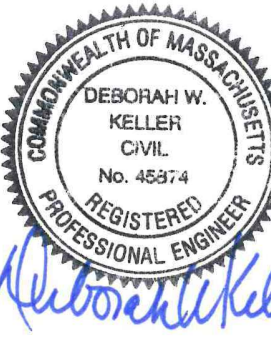
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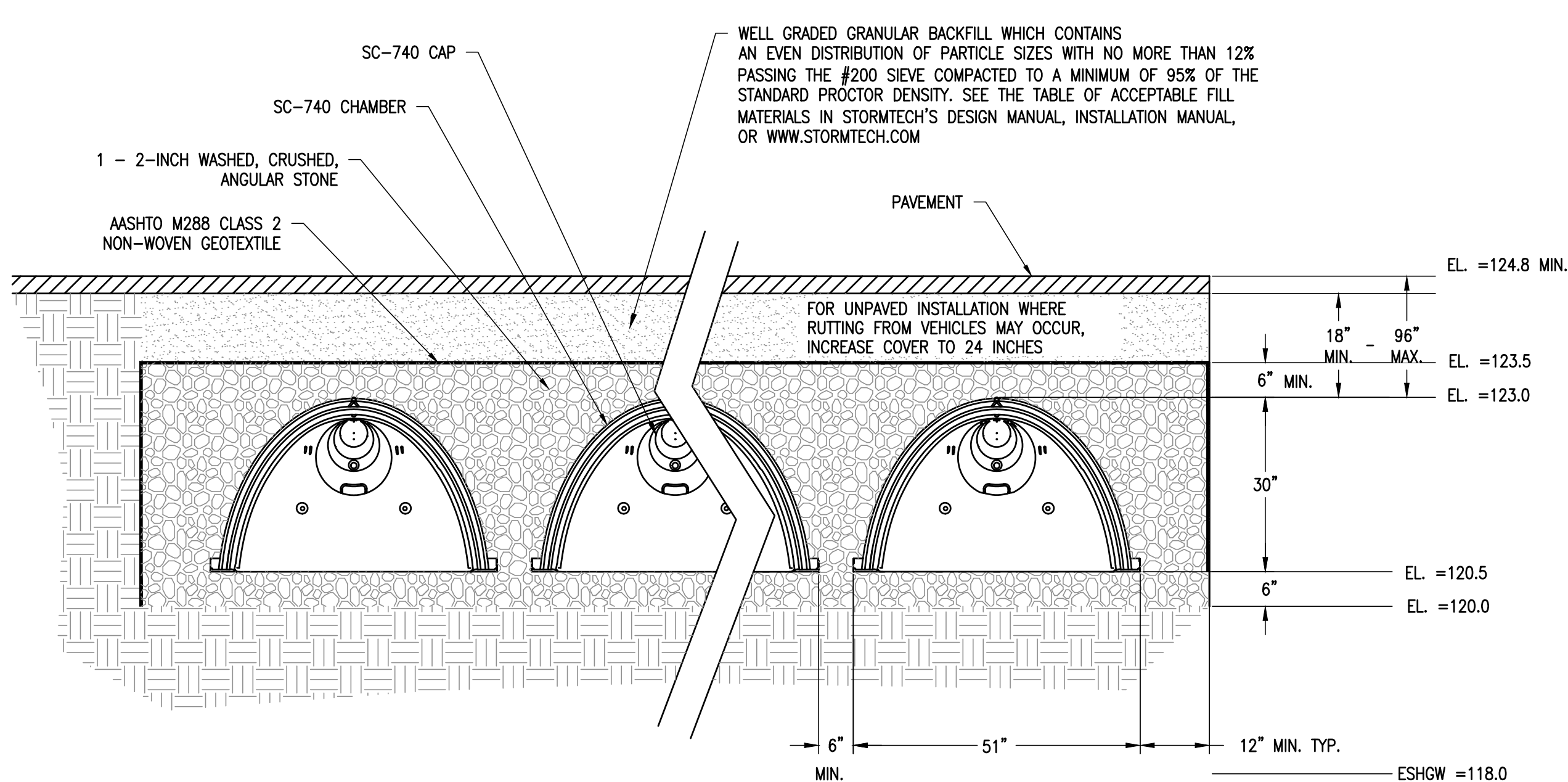
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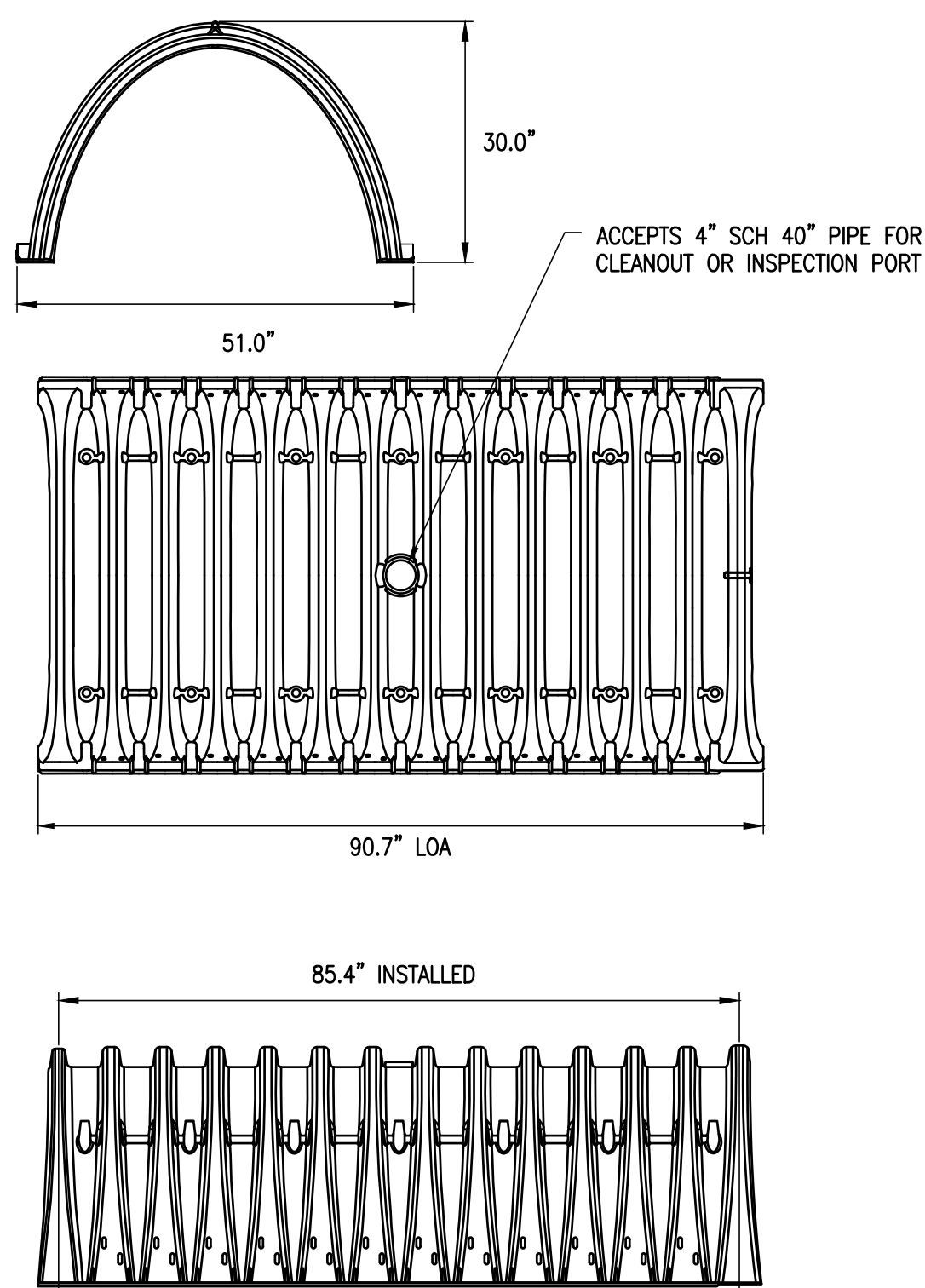
DATE:

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CONSTRUCTION DETAILS



STORMTECH SC-740 CHAMBER SYSTEM
CROSS SECTION DETAIL
(NOT TO SCALE)

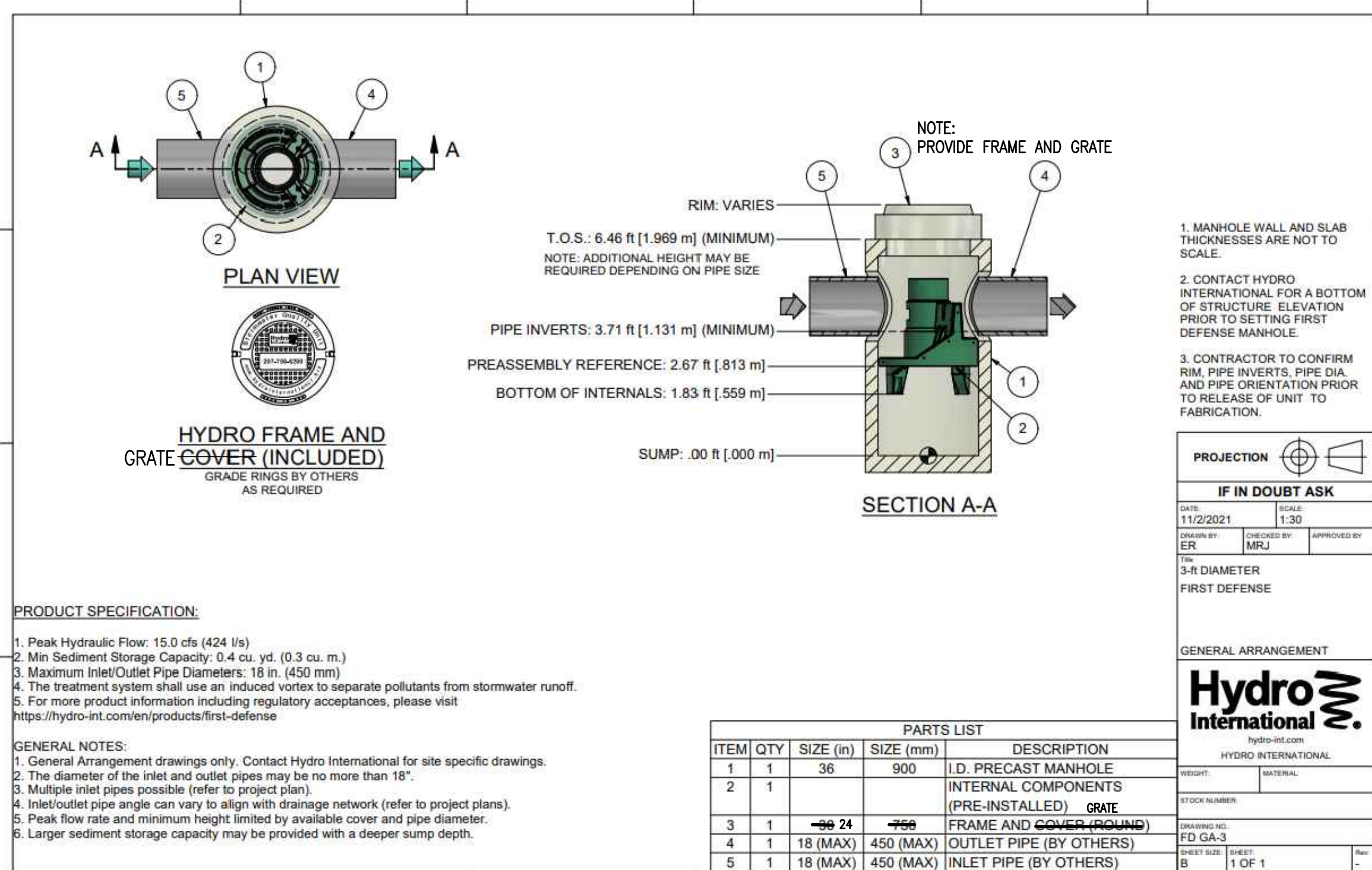


STORMTECH SC-740 CHAMBER
(NOT TO SCALE)

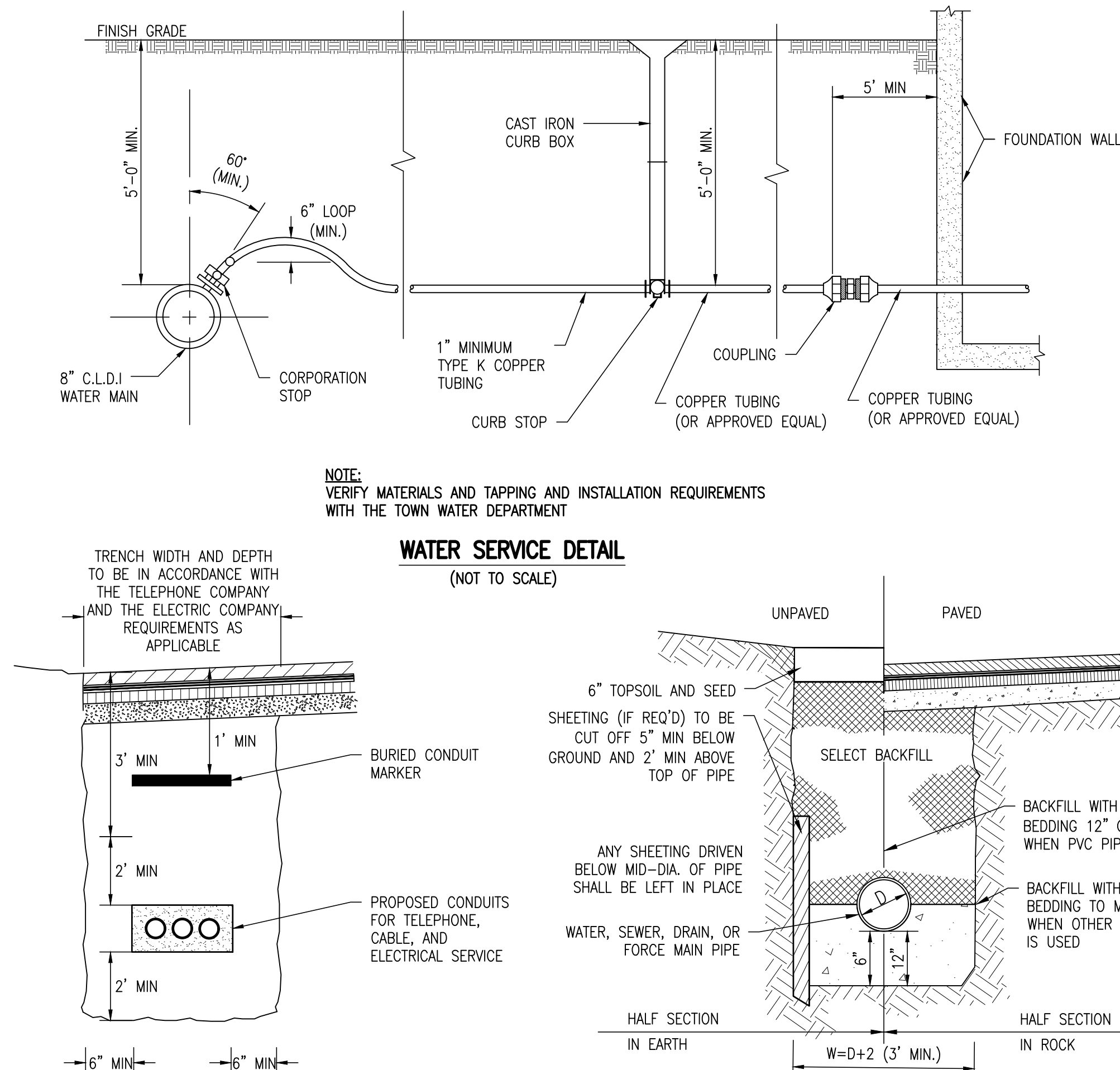
NOMINAL CHAMBER SPECIFICATIONS
SIZE (W x H x INSTALLED LENGTH) 51.0\" x 30.0\" x 85.4\"
CHAMBER STORAGE 45.9 CUBIC FEET
MINIMUM INSTALLED STORAGE 74.9 CUBIC FEET
WEIGHT 75 LBS.



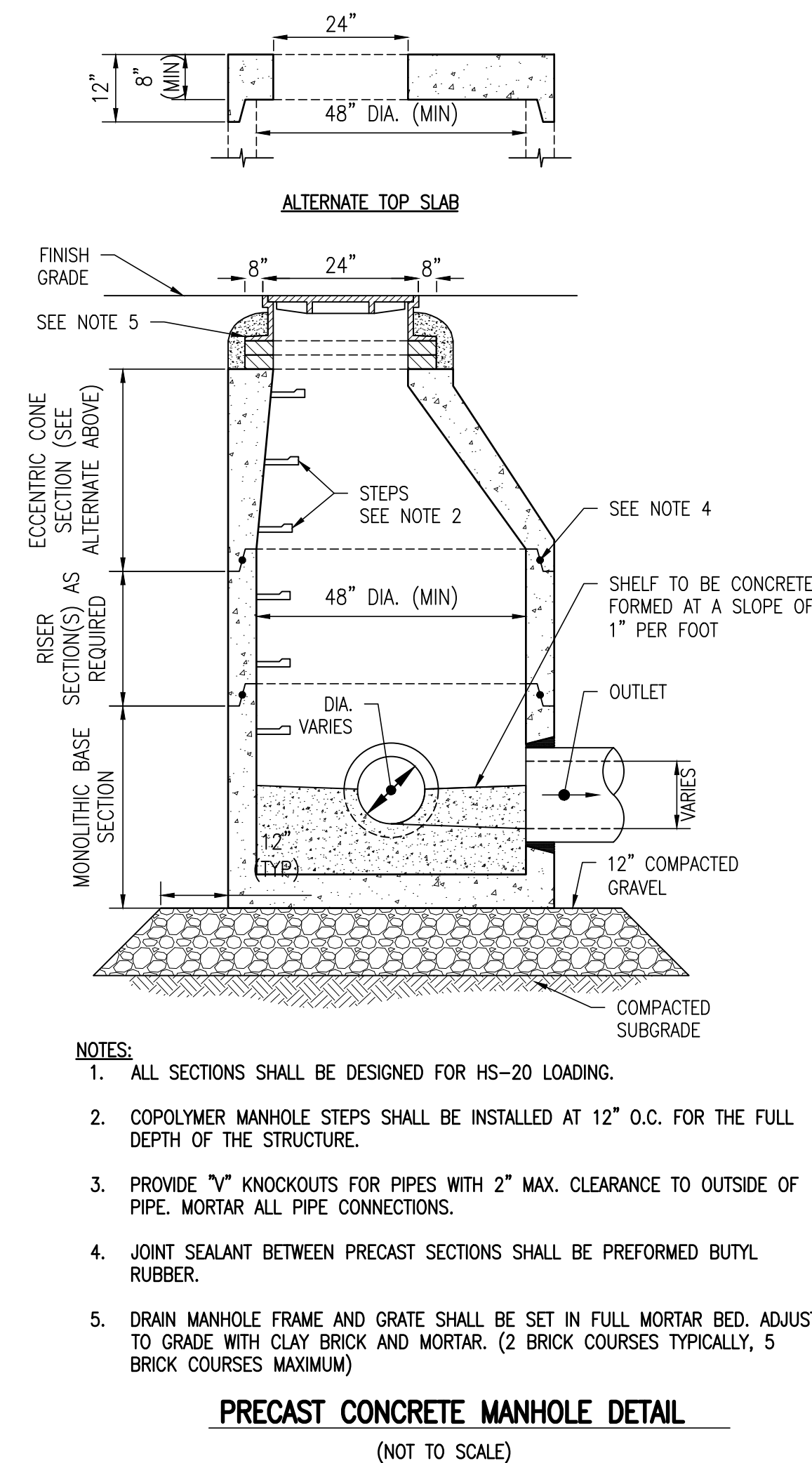
STORMTECH SC-740 CHAMBER SYSTEM
PLAN VIEW DETAIL
(NOT TO SCALE)



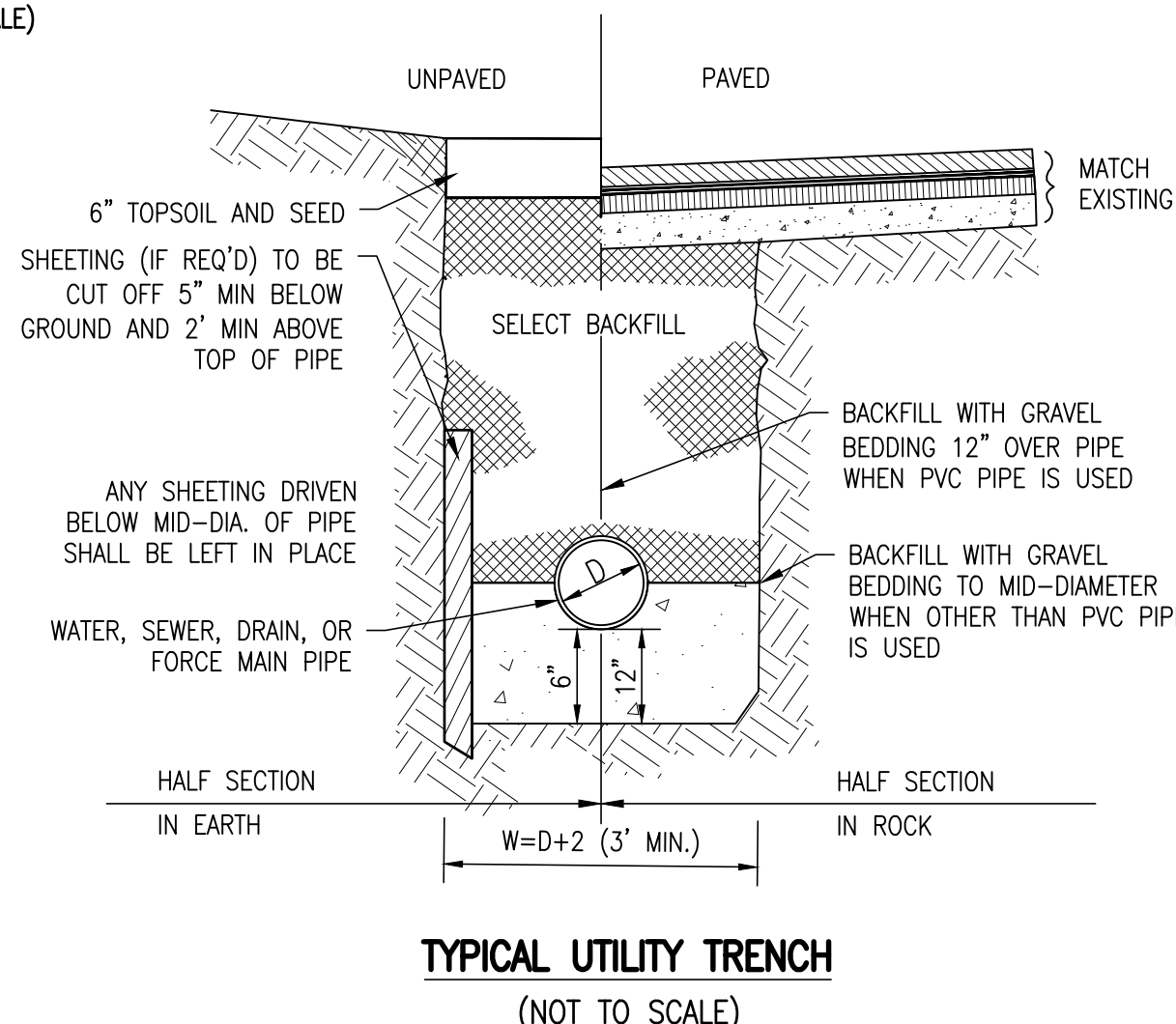
3-Ft DIAMETER FIRST DEFENSE UNIT
(NOT TO SCALE)



TYPICAL ELECTRIC/TELEPHONE/CABLE CONDUIT (US-UTILITY SERVICE) DETAIL
(NOT TO SCALE)



PRECAST CONCRETE MANHOLE DETAIL
(NOT TO SCALE)



TYPICAL UTILITY TRENCH
(NOT TO SCALE)

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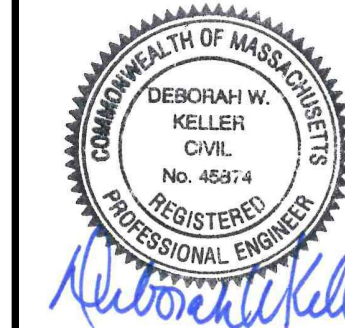
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CONSTRUCTION DETAILS

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