



PARKING LOT RE-STRIPING, STALL PARKING SIGNAGE AND  
WAYFINDING DRIVE UP BEACONS WHERE SHOWN ON THE PLAN.

## COMMERCIAL DISTRICT

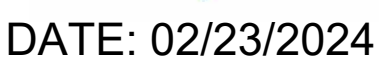
- DRIVE AISLE = 24' MIN. WIDTH
- STANDARD PARKING STALL = 10' X 20' MIN. (9' X 18' EXISTING)

TARGET CORP.  
CONTACT: MATTHEW FLANSBURG  
50 SOUTH 10TH ST, SUITE 400  
MINNEAPOLIS, MN, 55403  
MATTHEW.FLANSBURG@TARGET.COM

KIMLEY-HORN  
CONTACT: WILLIAM J SCULLY, P.E.  
271 WAVERLEY OAKS ROAD, SUITE 302  
WALTHAM, MA 02452  
617-466-6347  
BILL.SCULLY@KIMLEY-HORN.COM

COVER SHEET.....	C0.0
PARTIAL SITE PLAN (SURVEY).....	C0.1
ENGLARGED PARTIAL SITE PLAN (SURVEY).....	C0.2
DEMOLITION PLAN (AERIAL).....	C0.3
IMPROVEMENT PLAN (AERIAL).....	C1.0
DETAILS.....	C2.0 - C2.1

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271 WAVERLEY OAKS ROAD, SUITE 302  
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Project Number	T-2532
Config:	
Drawn By	ID
Checked By	CAL

COVER SHEET

C0.0

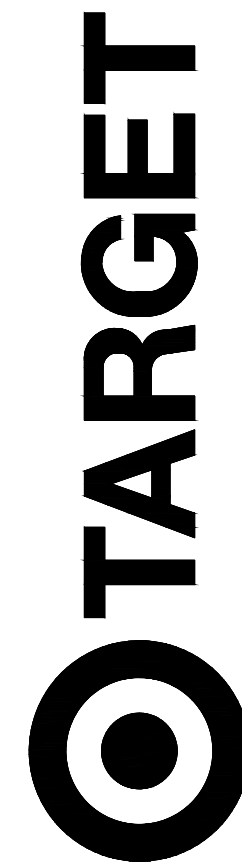


## EXISTING CONDITIONS NOTES

1. PROPERTY LINES AND EXISTING CONDITIONS SHOWN ARE BASED ON AN A BOUNDARY TOPOGRAPHIC & UTILITY SURVEY PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED AUGUST 12, 2022, REVISED SEPTEMBER 20, 2022.
2. ALL UTILITY INFORMATION SHOWN ON THE PLAN IS NOT WARRANTED TO BE EXACT. NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES WILL BE SHOWN ON THE SURVEY. EXACT LOCATIONS TO BE VERIFIED BY CONTRACTOR BEFORE BEGINNING CONSTRUCTION.

[illegible]

DATE: 02/23/2024



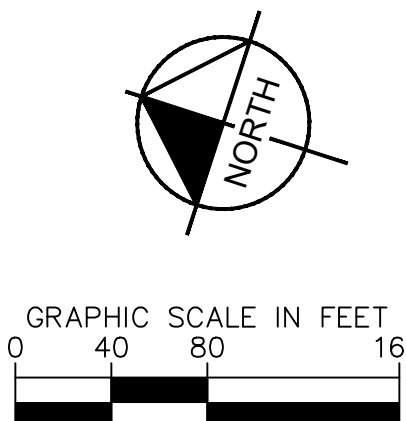
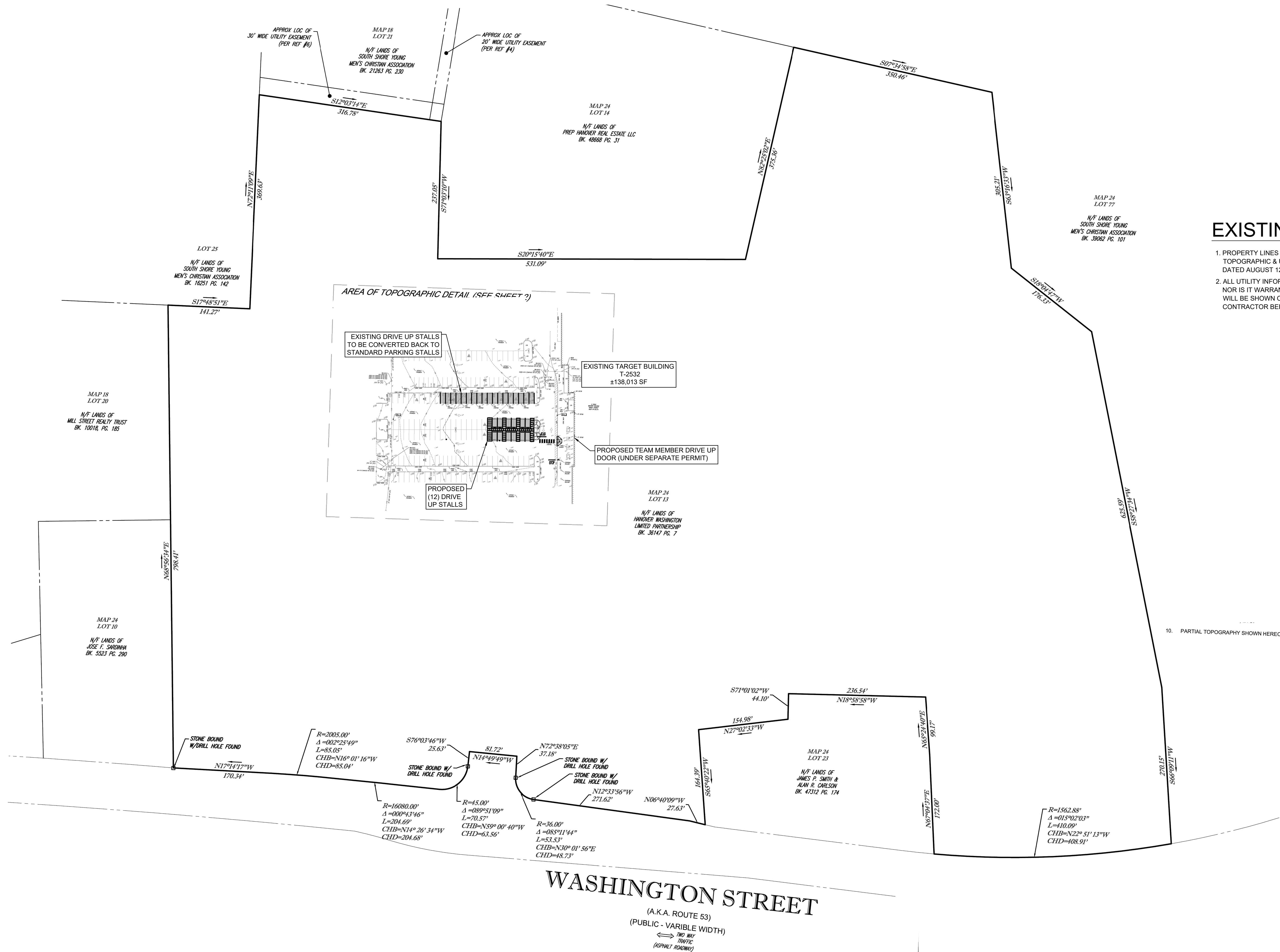
T-2532 HANOVER  
1167 WASHINGTON ST.  
HANOVER MA 02339

Project Number T-2532

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Checked By	CAL

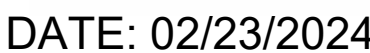
PARTIAL SITE  
PLAN (SURVEY)

C0.1





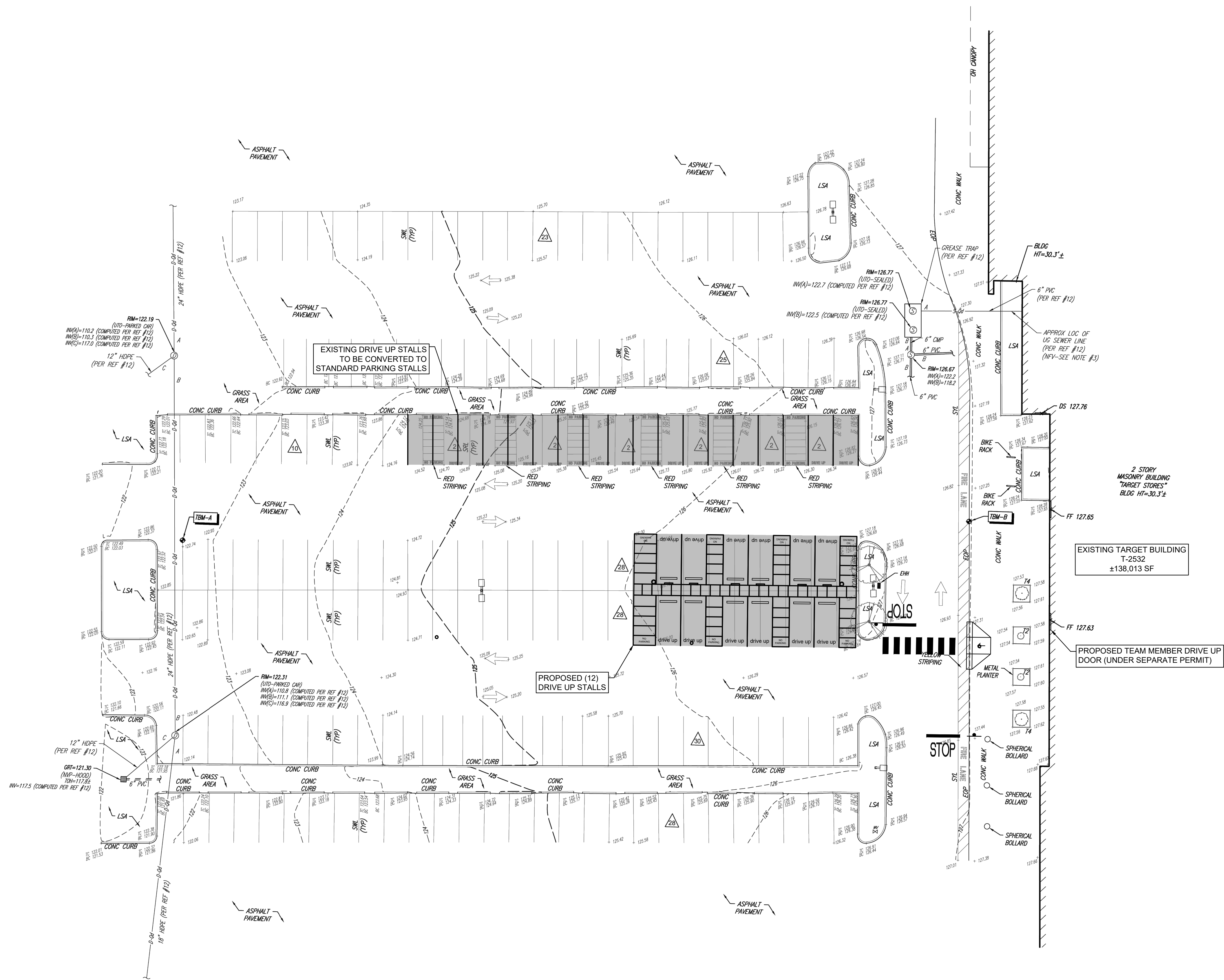
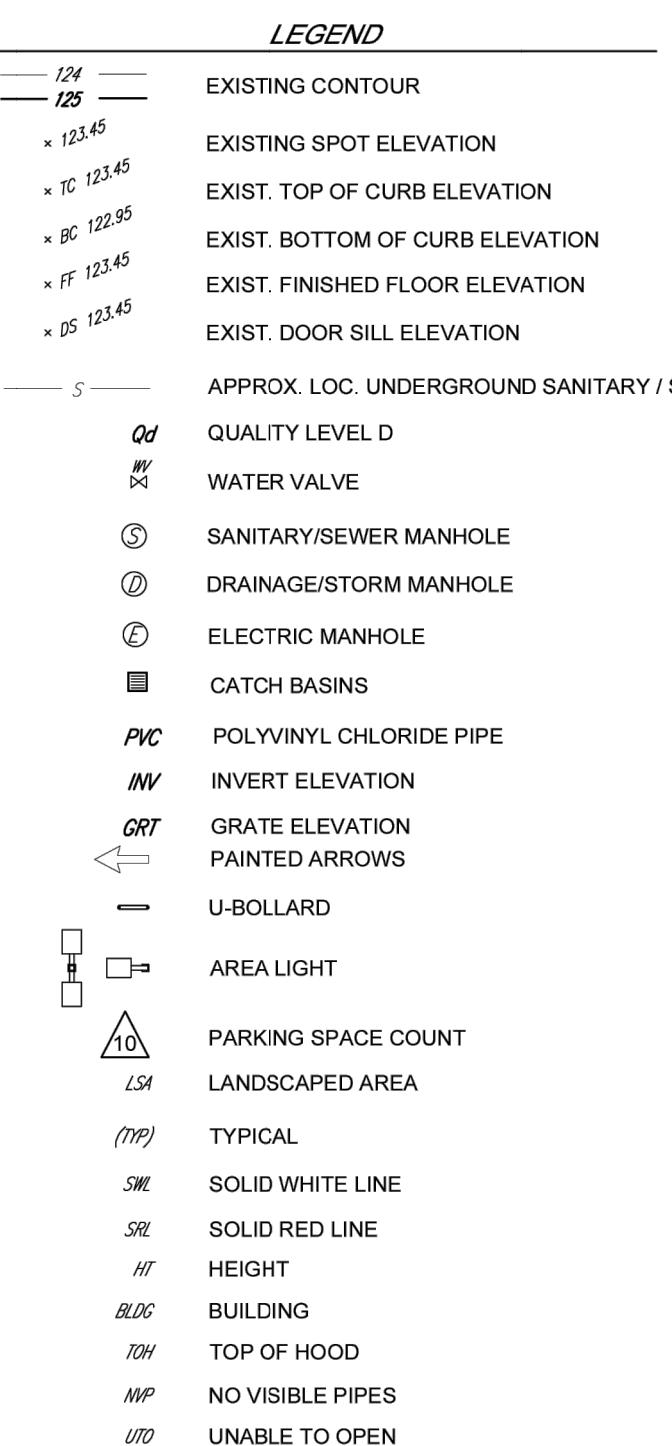
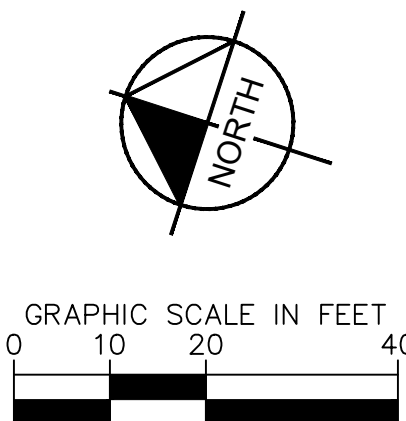
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2. ALL UTILITY INFORMATION SHOWN ON THE PLAN IS NOT WARRANTED TO BE EXACT. NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES WILL BE SHOWN ON THE SURVEY. EXACT LOCATIONS TO BE VERIFIED BY CONTRACTOR BEFORE BEGINNING CONSTRUCTION.

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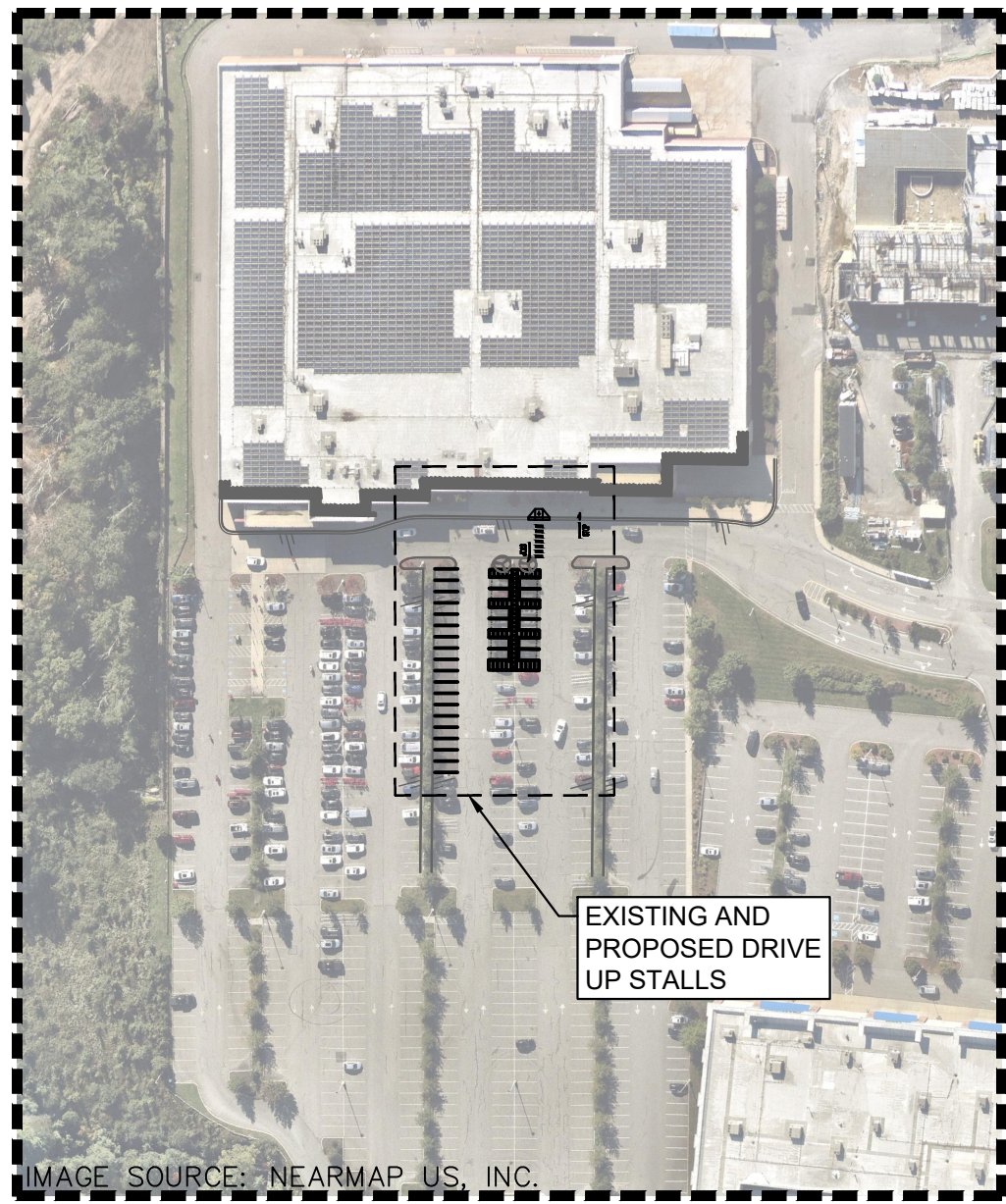
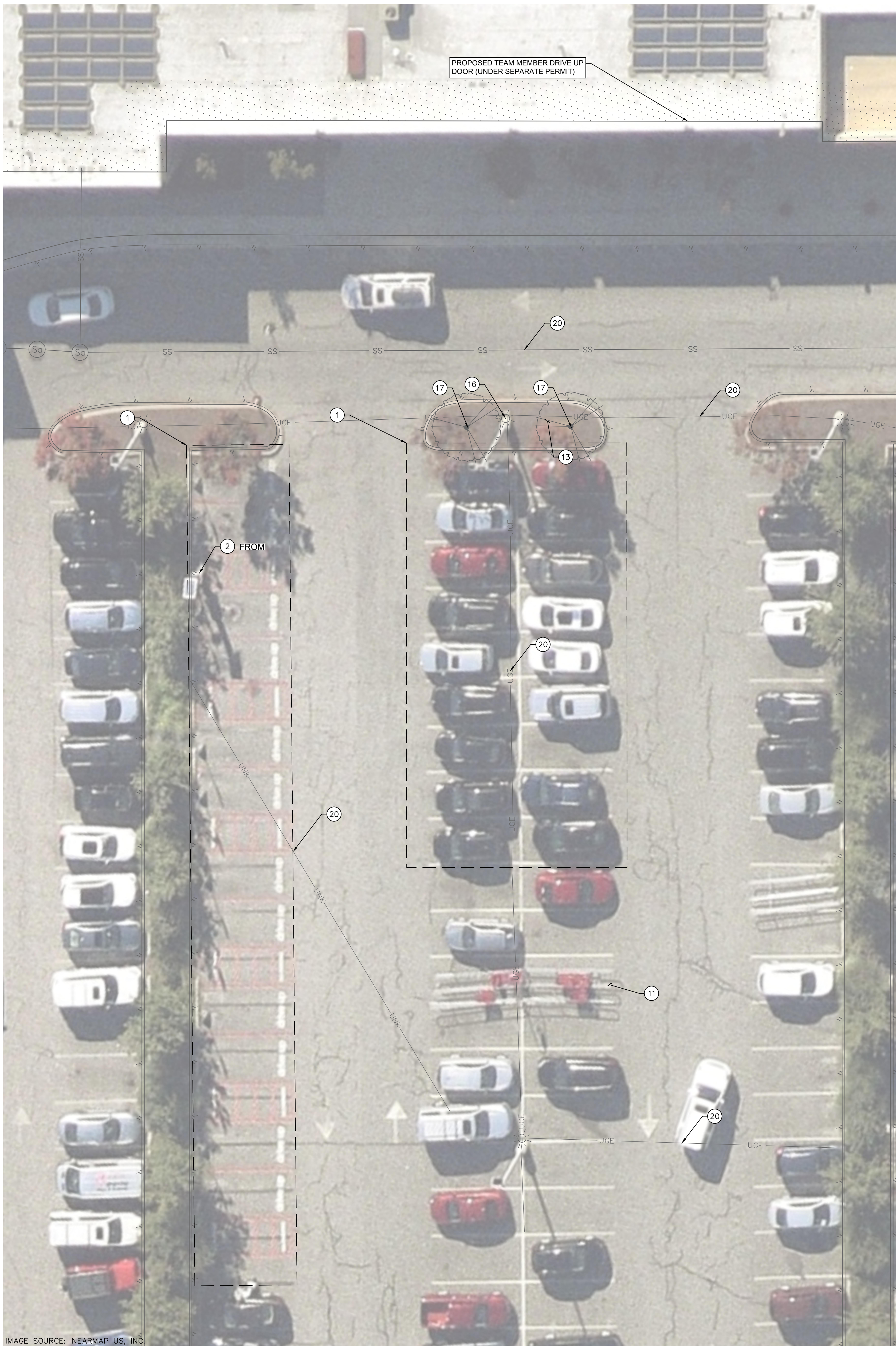
Project Number	T-2532
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ENLARGED  
PARTIAL SITE  
PLAN (SURVEY)

C0.2







**KEY MAP**  
1" = 150'

## DEMOLITION NOTES

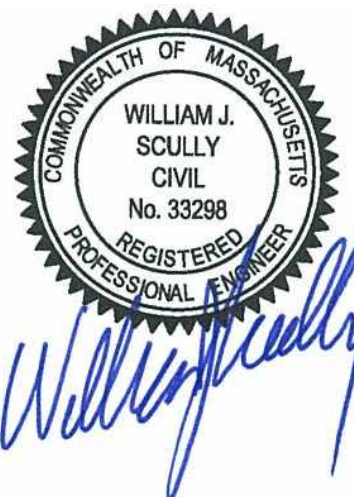
- ① REMOVE EXISTING STRIPING AND DRIVE UP SIGNAGE.
- ② REMOVE AND RELOCATE EXISTING DRIVE UP BEACON AS SHOWN. REFER TO SHEET C1.0 FOR PROPOSED LOCATION.
- ⑪ REMOVE AND SALVAGE EXISTING CART CORNERS. CONTRACTOR TO COORDINATE RELOCATION WITH TARGET.
- ⑬ CONTRACTOR TO PROTECT IN PLACE EXISTING LANDSCAPE ISLAND AND REPAIR TO EXISTING CONDITION IF ANY DAMAGE RESULTS.
- ⑯ CONTRACTOR TO PROTECT IN PLACE EXISTING LIGHT POLE. REFER TO ELECTRICAL PLANS FOR FURTHER DETAIL.
- ⑰ CONTRACTOR TO PROTECT IN PLACE EXISTING TREE.
- ⑳ CONTRACTOR TO PROTECT IN PLACE EXISTING UNDERGROUND UTILITIES.

## GENERAL NOTES

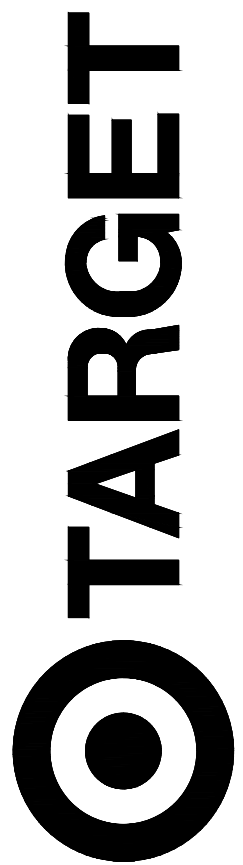
1. THE LOCATION OF UTILITIES ARE BASED ON THE AVAILABILITY AND ACCURACY OF AVAILABLE RECORD DRAWINGS. A REASONABLE ATTEMPT HAS BEEN MADE TO SHOW THE LOCATIONS OF KNOWN UNDERGROUND OBSTRUCTIONS, AND UTILITIES. THE UTILITIES, AND FACILITY OWNERS SHALL BE RESPONSIBLE FOR ANY UNEXPECTED OR THE EXACT LOCATION, OR AS THE ONLY UNDERGROUND UTILITIES, OR OBSTACLES THAT MAY OCCUR ON THE SITE. THE OWNER AND ENGINEER BEAR NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN IN AN INCORRECT LOCATION OR ELEVATION ON THE PLANS. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITIES. CONSTRUCTION EFFORTS, ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
2. UTILITIES INTERFERING WITH CONSTRUCTION SHALL BE RESET OR RELOCATED BY THE CONTRACTOR UNLESS NOTED OTHERWISE, AND ENGINEER SHALL BE NOTIFIED.
3. THE CONTRACTOR SHALL GIVE PROPER NOTICE TO ALL UTILITY COMPANIES AND FACILITY OWNERS REGARDING REMOVAL AND RELOCATION ACTIVITIES, AND WHEN WORKING IN THE VICINITY OF UTILITY.
4. CONFLICTS WITH IRRIGATION INFRASTRUCTURE SHALL BE REROUTED AROUND PROPOSED IMPROVEMENTS. IF AN ADJUSTED IRRIGATION PATH IS NECESSARY, PROVIDE THE MOST DIRECT CONNECTION POSSIBLE TO ROUTE AROUND IMPROVEMENTS. ENSURE THAT ALL AREAS AFFECTED BY CONSTRUCTION RECEIVE UNINTERRUPTED IRRIGATION, AT THE EXISTING SCHEDULED RATES, AND THAT THE IRRIGATION SYSTEMS ARE NOT DAMAGED. CONTROL WIRKS THAT REQUIRE REROUTING SHALL BE AVOIDED WHENEVER POSSIBLE. IF A SPLICE IS REQUIRED, IT SHALL BE DONE USING WATER-PROOF WIRE CONNECTORS. NEW CONTROL WIRE SHALL BE RUN, AND EXTENDED AS NECESSARY, TO FOLLOW THE SAME PATH AS THE EXISTING WIRE. ALL EXISTING IRRIGATION AREAS MUST BE FUNCTIONING AS DESIGNED AFTER CONSTRUCTION IS COMPLETE.
5. IN ACCORDANCE WITH CONDITIONAL APPROVAL AND PRIOR TO THE START OF ANY MOBILIZATION OR SITE WORK, A PRE-DEVELOPMENT MEETING WITH THE TOWN PLANNER WITH THE APPLICANT, DEVELOPER AND SITE WORK CONTRACTOR SHALL BE HELD TO REVIEW THE CONDITIONS OF THE DECISION. THE SITE SHALL BE IN COMPLIANCE WITH THE AS-BUILT APPROVAL FOR THE SPECIAL PERMIT PB#08-10SP. AT THIS MEETING, THE FOLLOWING MATERIALS SHALL BE PROVIDED TO THE TOWN PLANNER:
  - 5.1. NAME, ADDRESS AND A 24/7 PHONE NUMBER OF GENERAL AND/OR SITE CONTRACTOR.
  - 5.2. ESTIMATED CONSTRUCTION SCHEDULE AND COMPLETION DEADLINE.
  - 5.3. PROPOSED LOCATION OF CONSTRUCTION TRAILER, STOCKPILING AND CONSTRUCTION FENCING AS DEPICTED ON A PLAN.
  - 5.4. A DESIGNATED AREA LOCATED ON SITE PLAN FOR ALL THE CONSTRUCTION WORKERS, INCLUDING ALL GENERAL AND SUBCONTRACTORS OR OTHER PERSONNEL TO BE LOCATED AT THE TARGET PARKING LOT. WRITTEN NOTICE (LETTER OR EMAIL) TO CONSTRUCTION COMPANIES OF THE DESIGNATED PARKING AREA SHALL BE PROVIDED PRIOR TO THE START OF ANY WORK.
6. DURING CONSTRUCTION, THE APPLICANT/ CONTRACTOR SHALL KEEP THE SITE IN A RELATIVELY CLEAN AND ORDERLY MANNER. IF MATERIALS ARE TRACKED ALONG THE MAIN ACCESS DRIVE, THE DESIGNATED TRUCK ROUTE SHALL BE BROOM SWEEPED DAILY. ANY CATCH BASINS LOCATED DOWN GRADIENT OF THE CONSTRUCTION SITE OR ON THE PAVED SURFACE OF THE DESIGNATED TRUCK ROUTE SHALL HAVE CATCH BASIN INSERTS INSTALLED FOR THE LIFE OF THE CONSTRUCTION TO PROTECT FROM SEDIMENT ENTERING INTO THE CATCH BASIN. IN THE EVENT OF UNEXPECTED, UNFORECASTED LONG INCLEMENT WEATHER EVENT, ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED FOR THE SITE AND AROUND STOCKPILE AREAS. AT THE END OF EACH WORK DAY, THE GENERAL CONTRACTOR SHALL VISUALLY INSPECT AND ADDRESS ANY MINOR EROSION OR SEDIMENTATION. CONSTRUCTION FENCING OR OUTSIDE THE FENCING OCCURRING IN THE PARKING LOT AS A RESULT OF CONSTRUCTION.



**Kimley»Horn**  
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[illegible]

DATE: 02/23/2024



T-2532 HANOVER  
1167 WASHINGTON ST.  
HANOVER, MA 02339

Project Number	T-2532
Config:	
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DEMOLITION  
PLAN (AERIAL)

### C0.3



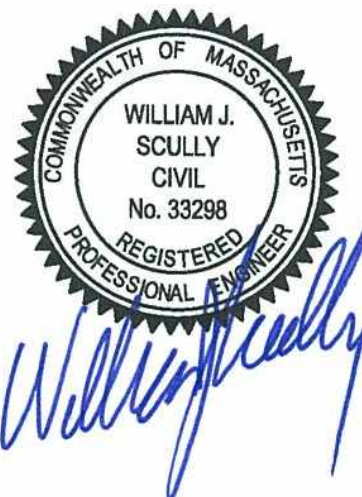


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	ELECTRIC	MTP	▲
MANHOLE	(E)	UNKNOWN	(W)

- LIMITS OF PARKING MARKING & REMOVAL  
EXISTING EASEMENT  
CONSTRUCTION FENCE  
EDGE OF PAVEMENT  
CURB  
EXISTING WATER LINE  
EXISTING FIRE WATER LINE  
EXISTING IRRIGATION WATER LINE  
EXISTING SANITARY SEWER LINE  
EXISTING STORM DRAIN LINE  
EXISTING UNDERGROUND ELECTRIC LINE  
EXISTING GAS LINE  
EXISTING TELECOMMUNICATIONS LINE  
EXISTING UNKNOWN UTILITY LINE  
WATER VALVE  
FIRE HYDRANT  
IRRIGATION VALVE  
SEWER MANHOLE  
SEWER CLEAN OUT  
STORM DRAIN MANHOLE  
GRATED INLET  
CATCH BASIN  
LIGHT POST  
ELECTRIC PULLBOX / E BOX  
UTILITY VAULT  
GAS VALVE  
TREE  
SIGN  
BOLLARD  
DECORATIVE CONCRETE BALL  
HANDICAP PARKING  
GREASE TRAP  
COMMUNICATION VAULTS  
SURVEY CONTROL POINTS  
MISCELLANEOUS MANHOLES

- 2 RELOCATE EXISTING DRIVE UP BEACONS AS SHOWN. REFER TO SHEET C0.3 FOR EXISTING LOCATION.
- 3 RESTRIPE STANDARD PARKING STALLS USING 4" WIDE WHITE STRIPING.
- 4 INSTALL CROSSWALK PER DETAILS SHEET.
- 5 INSTALL STOP BAR AND LEGEND PER DETAILS SHEET.
- 6 INSTALL STOP SIGN PER DETAILS SHEET.
- 7 INSTALL CURB RAMP PER DETAILS SHEET.
- 8 INSTALL DRIVE UP STRIPING AND SIGNAGE PER DETAILS SHEET.
- 9 INSTALL DRIVE UP BEACON PER DETAIL SHEET.
- 10 INSTALL STANCHION SIGN AND BASE PER DETAILS SHEET.
- 16 PROTECT IN PLACE EXISTING LIGHT POLE. REFER TO ELECTRICAL PLANS FOR FURTHER DETAIL.
- 25 INSTALL WHEELSTOPS PER DETAILS SHEET.

1. THE LOCATION OF UTILITIES ARE BASED ON THE AVAILABILITY AND ACCURACY OF AVAILABLE RECORD DRAWINGS. A REASONABLE ATTEMPT HAS BEEN MADE TO SHOW THE LOCATION OF ALL KNOWN UNDERGROUND OBSTRUCTIONS AND UTILITIES. UTILITIES AND FACILITIES ON THE PLANS SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY UNDERGROUND UTILITIES, OR OBSTACLES THAT MAY OCCUR ON THE SITE. THE OWNER AND ENGINEER BARE NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN IN AN INCORRECT LOCATION OR ELEVATION ON THE PLANS. CONTRACTOR TO CALL 811 PRIOR TO COMMENCING ANY CONSTRUCTION EFFORTS. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
2. UTILITIES INTERFERING WITH CONSTRUCTION SHALL BE RESET OR RELAYED TO THE CONTRACTOR UNLESS NOTED OTHERWISE, AND ENGINEER SHALL BE NOTIFIED.
3. THE CONTRACTOR SHALL GIVE PROPER NOTICE TO ALL UTILITY COMPANIES AND FACILITY OWNERS REGARDING REMOVAL AND RELOCATION ACTIVITIES AND WHEN WORKING IN THE VICINITY OF UTILITY LINES.
4. CONFLICTS WITH IRRIGATION INFRASTRUCTURE SHALL BE REROUTED AROUND PROPOSED IMPROVEMENTS. IF AN ADJUSTED IRRIGATION PATH IS NECESSARY TO AVOID OR MINIMIZE CONFLICTS, THE CONTRACTOR SHALL ROUTE AROUND IMPROVEMENTS. ENSURE THAT ALL AREAS AFFECTED BY CONSTRUCTION RECEIVE UNINTERRUPTED IRRIGATION, AT THE EXISTING SCHEDULED RATES, UNTIL CONSTRUCTION IS COMPLETE. SPLICING OF ANY CONFLICTING IRRIGATION LINES SHALL BE DONE CAREFULLY AND WHENEVER POSSIBLE, IF A SPLICE IS REQUIRED, IT SHALL BE DONE USING WATER-PROOF WIRE CONNECTORS. NEW CONTROL WIRE SHALL BE RUN AND EXTENDED AS NECESSARY, TO FOLLOW THE SAME PATH AS THE IRRIGATION WATER LINES. AFFECTED IRRIGATION AREAS MUST BE FURNISHED WITH THE SAME QUALITY OF IRRIGATION AS THE UNDISTURBED AREAS.
5. IN ACCORDANCE WITH CONDITIONAL APPROVAL AND PRIOR TO THE STARTING OF ANY MOBILIZATION OR SITE WORK, A PRE-DEVELOPMENT MEETING WITH THE TOWN PLANNER WITH THE APPLICANT, DEVELOPER AND SITE WORK CONTRACTOR SHALL BE HELD TO REVIEW ALL CONDITIONS OF THE DESIGN. THE SITE WORK CONTRACTOR SHALL BE REQUIRED TO OBTAIN APPROVAL FOR THE SPECIAL PERMIT PB08-10SP. AT THIS MEETING, THE FOLLOWING MATERIALS SHALL BE PROVIDED TO THE TOWN PLANNER:
  1. NAME, ADDRESS AND A 247 PHONE NUMBER OF GENERAL AND/OR SITE WORK CONTRACTOR.
  2. A DETAILED CONSTRUCTION SCHEDULE AND COMPLETION DEADLINE.
  3. PROPOSED LOCATION OF CONSTRUCTION TRAILER, STOCKPILING AND CONSTRUCTION FENCING AS DEPICTED ON A SITE PLAN.
  4. DESIGNATED AREA FOR THE CONSTRUCTION OF ALL CONSTRUCTION WORKERS, INCLUDING ALL GENERAL AND SUBCONTRACTORS, TO PARK ALONG THE PERIMETER OF THE TARGETED PARKING LOT. WRITTEN NOTICE (EMAIL) TO THE TOWN PLANNER SHALL BE PROVIDED TO THE DESIGNATED PARKING AREA SHALL BE PROVIDED PRIOR TO THE START OF ANY WORK.
6. DURING CONSTRUCTION, THE APPLICANT/ CONTRACTOR SHALL KEEP THE SITE IN A RELATIVELY CLEAN AND ORDERLY MANNER. IF MATERIAL IS TRACKED ALONG THE MAIN ACCESS DRIVE, THE DESIGNATED TRUCK ROUTE SHALL BE BROUGHT TO THE FRONT OF THE SITE. THE CONTRACTOR SHALL GRADIENT OF THE CONSTRUCTION SITE OR ON THE PAVED SURFACE OF THE DESIGNATED TRUCK ROUTE SHALL HAVE CATCH BASIN SISTERS INSTALLED FOR THE LIFE OF THE CONSTRUCTION TO PROTECT FROM SEDIMENT ENTERING THE MAIN WATER DISCHARGE. THE CONTRACTOR SHALL MAINTAIN FORTIFIED LONG INCLINE WATER EJECTOR. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED FOR THE SITE AND AROUND STOCKPILE AREAS. AT THE END OF EACH WORK DAY, THE GENERAL CONTRACTOR SHALL VISUALLY INSPECT AND ADDRESS ANY WINDBLOWN MATERIAL THAT THE SITE OR THE TRUCK ROUTE. MATERIALS ARE BEING OCCURRING IN THE PARKING LOT AS A RESULT OF CONSTRUCTION.

[illegible]

DATE: 02/23/2024



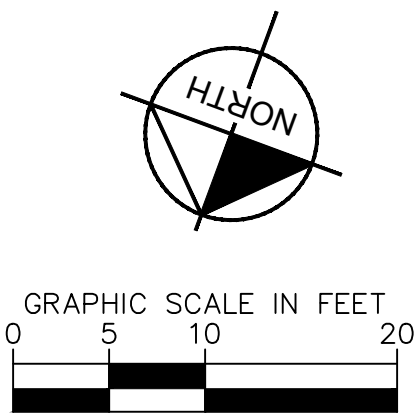
Project Number	T-2532
Config:	
Drawn By	ID
Checked By	CAL

## IMPROVEMENT PLAN (AERIAL)

C1.0



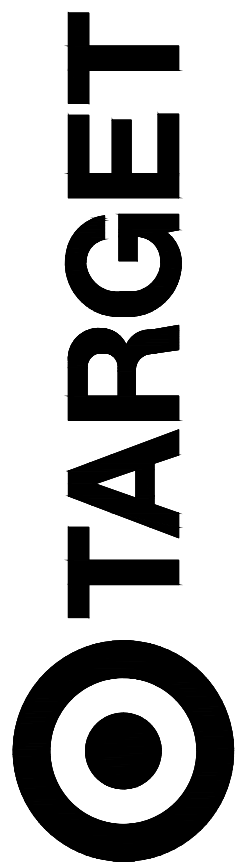
1" = 10





[illegible]

DATE: 02/23/2024



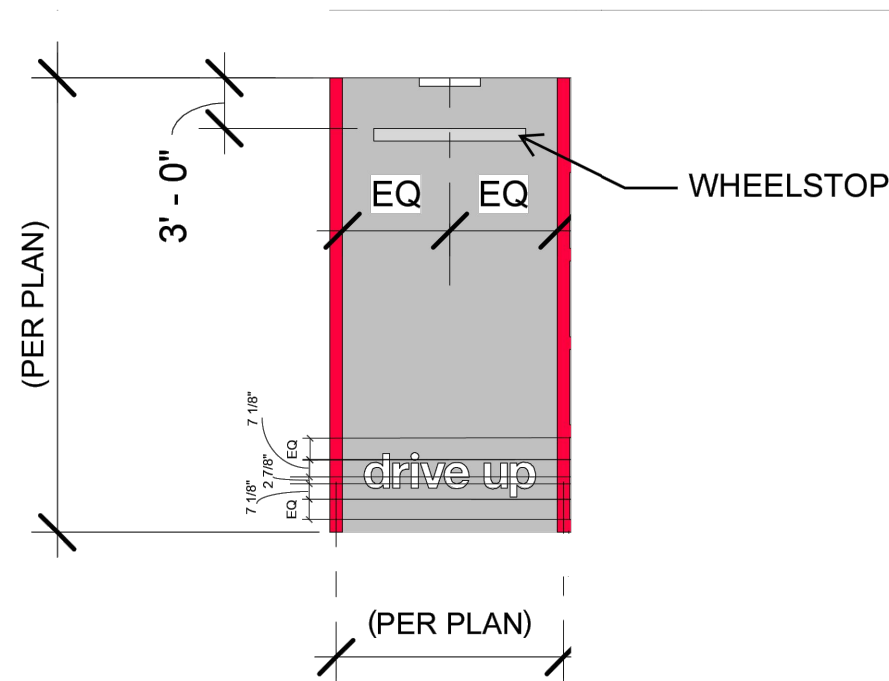
T-2532 HANOVER  
1167 WASHINGTON ST.  
HANOVER MA 02339

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Checked By	CAL

## DETAILS

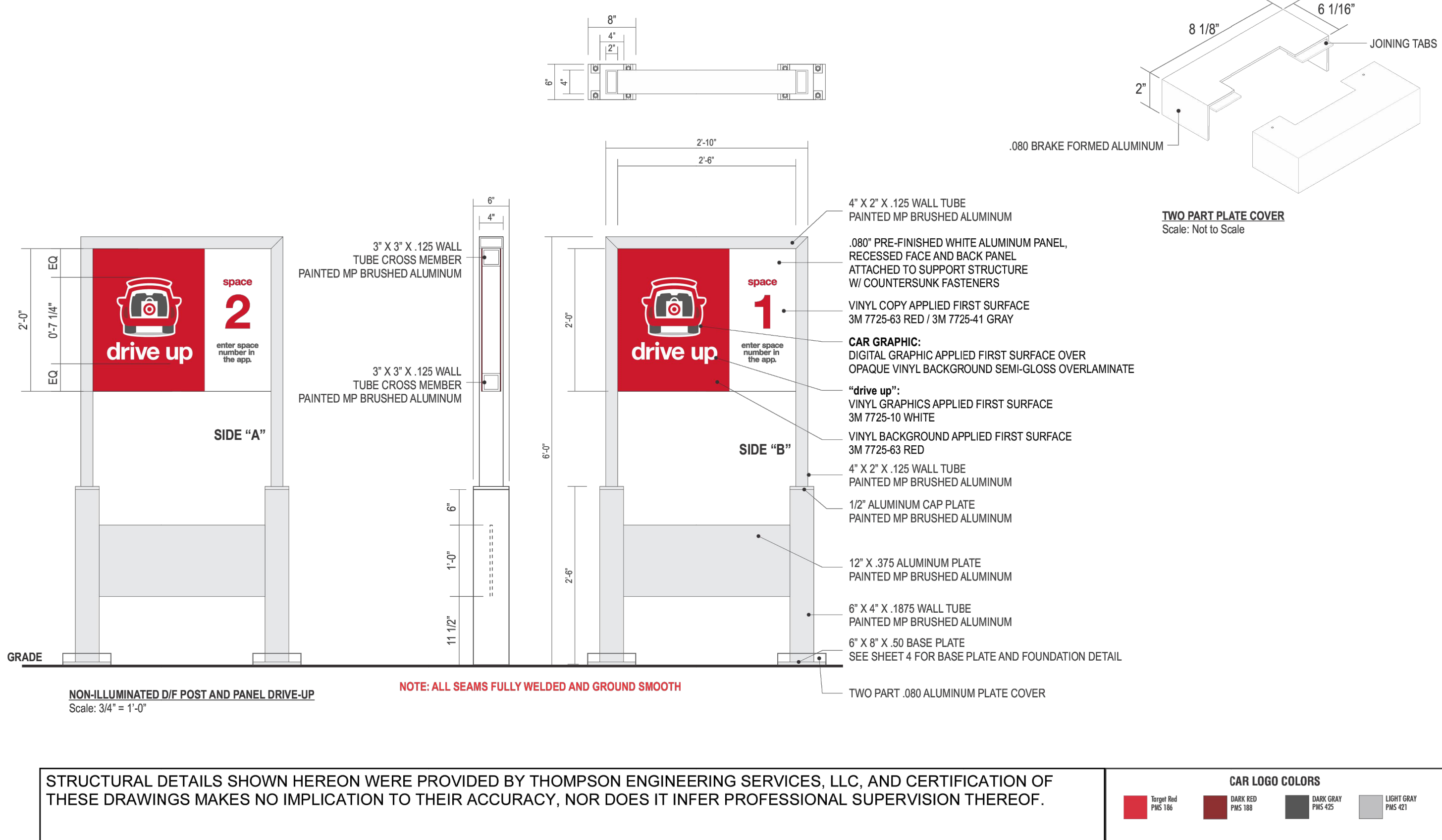
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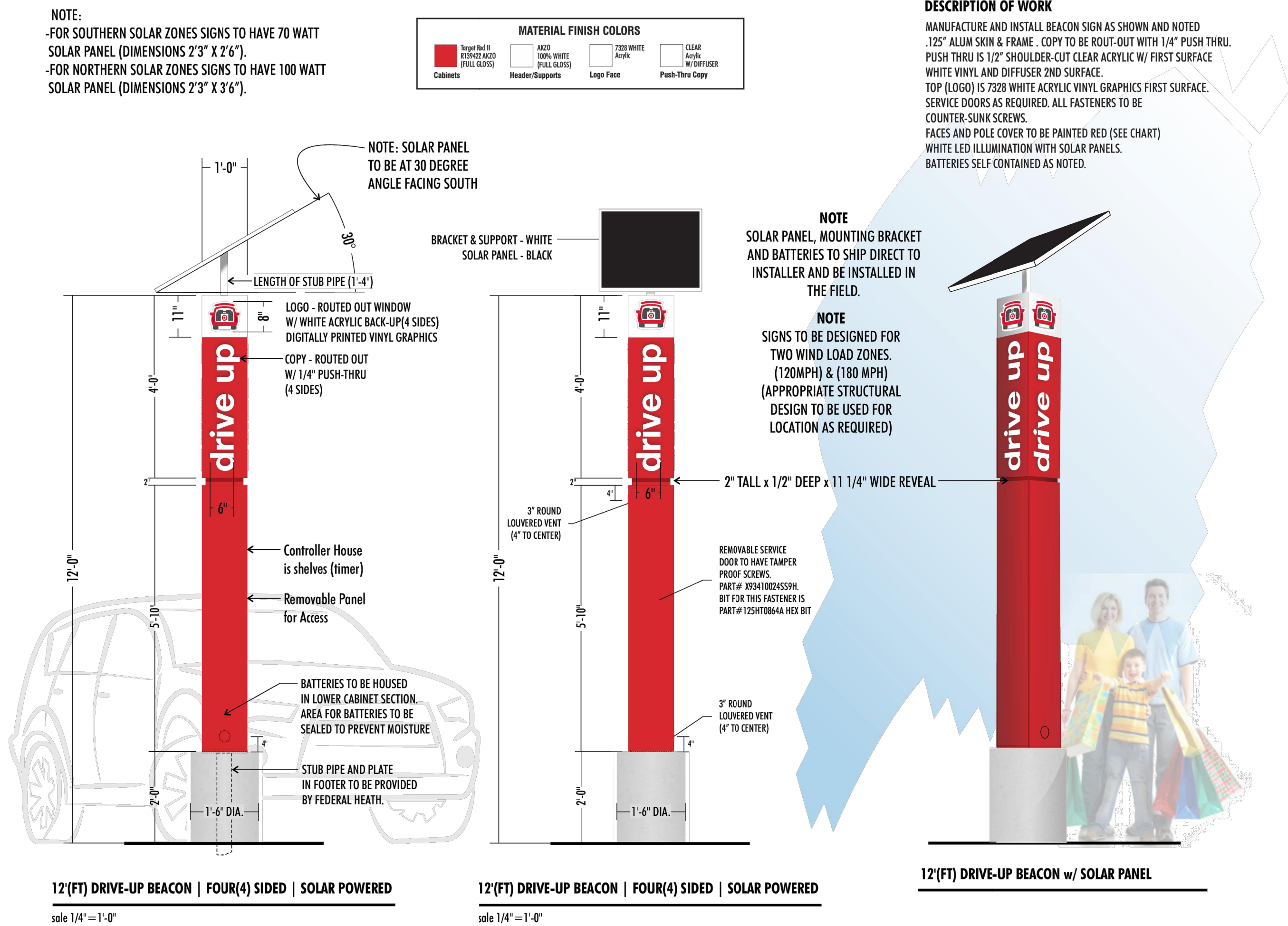
NOTES:

1. ALL RED STRIPING IS 6" WIDE
2. TARGET TO PROVIDE GC WITH "drive up" AND "NO PARKING" TEMPLATES
3. SEE PLAN VIEW DIMENSIONS FOR EXACT LAYOUT OF SITE
4. REFER TO C1.0 FOR EXACT DIMENSIONS

DRIVE UP STRIPING  
N.T.S.



STANCHION SIGN POST AND BASE - DOUBLE SIDE  
N.T.S.

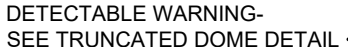


STRUCTURAL DETAILS SHOWN HEREON WERE PROVIDED BY MBI, INC, AND CERTIFICATION OF THESE DRAWINGS MAKES NO IMPLICATION TO THEIR ACCURACY, NOR DOES IT INFER PROFESSIONAL SUPERVISION THEREOF.

SOLAR DRIVE UP BEACON  
N.T.S.



1. ALL ACCESSIBLE COMPONENTS CONSTRUCTED AS PART OF THESE PLANS SHALL COMPLY WITH THE LOCAL, STATE, AND FEDERAL REGULATIONS WHICHEVER ARE MORE STRINGENT
2. PUBLIC SIDEWALK CURB RUMPS CONSTRUCTED WITHIN A PUBLIC RIGHT-OF-WAY, IN ABSENCE OF LOCAL ROADWAY GUIDELINES, SHALL MEET OR EXCEED THE FOLLOWING REGULATIONS:
3. CURB RAMP SURFACES (FLARES AND RAMP) SHALL HAVE A DIFFERENT TEXTURE FROM THE SURROUNDING PAVEMENT
4. CURB RUMPS SHALL BE CONCRETE WITH STRENGTH OF 2500 PSI.
5. INSTALL 1/4" EXPANSION JOINT FILLER MATERIAL BETWEEN A NEW CURB RAMP AND THE EXISTING SIDEWALKS.
6. WATER PONDING WITHIN THE CURB RAMP LIMITS IS NOT ALLOWED.
7. NO GRADE BREAK IS ALLOWED ALONG THE RAMP SURFACE.
8. SLOPE OF CURB RAMP SURFACE SHALL BE LESS THAN 2% DET
9. TRANSITION CHANGE IN ELEVATION IS NOT TO EXCEED 1/2" WITHIN AN ACCESSIBLE ROUTE. SEE
10. DRAINAGE CURB RAMP SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.



**N.T.S**



N.T.S



2. OTHER  
THESE

N.T.S.



N.T.S.

[illegible]

DATE: 02/23/2024



Project Number T-2532

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## DETAILS

## C2.1